



# Development Pressures on Agricultural, Recreational, and Institutional Lands

**STAKEHOLDER WORKING GROUP**

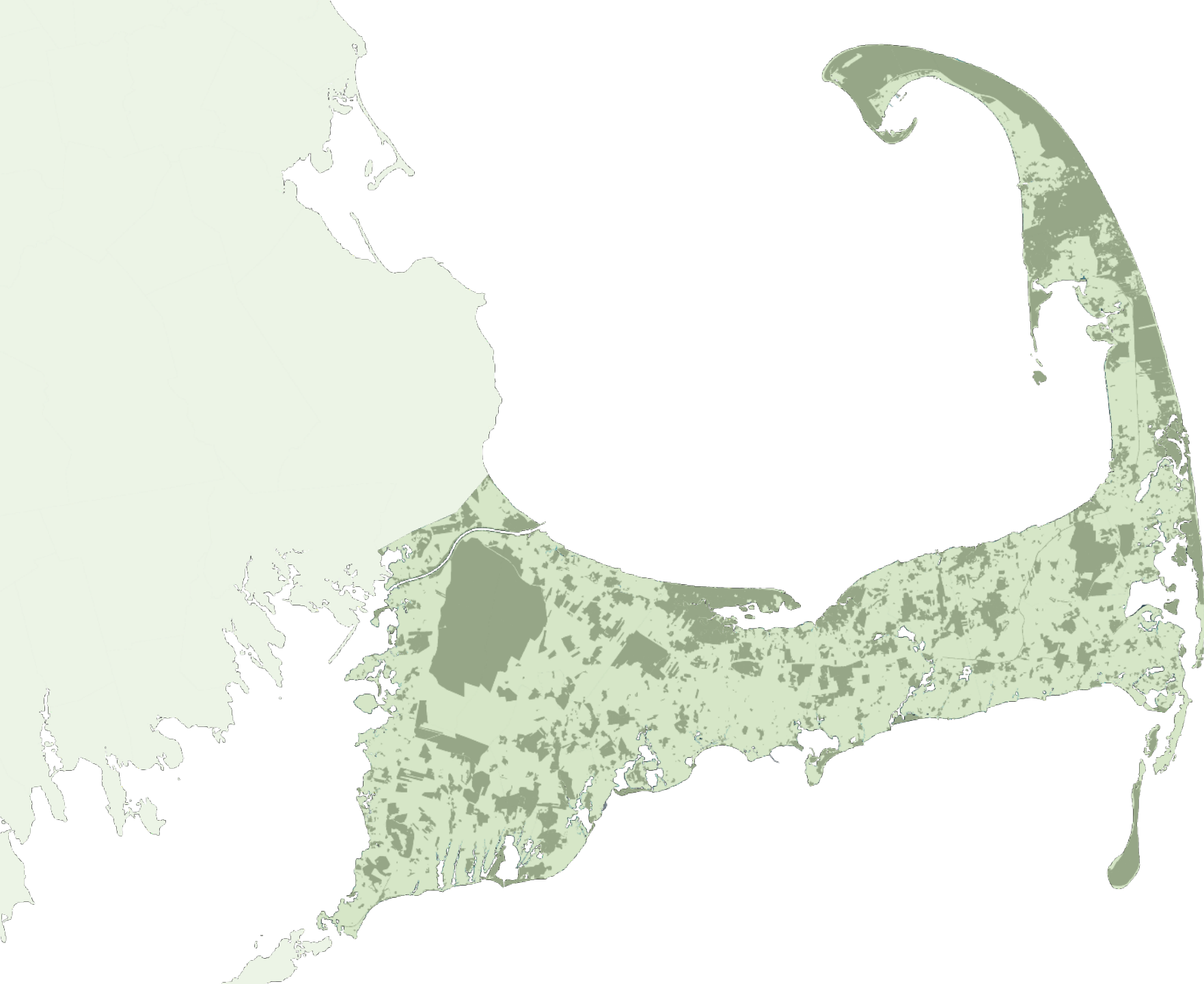
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**MEETING 1**

**January 12, 2022**



CAPE COD  
COMMISSION



86%

of the region's  
land is already  
developed or  
protected

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# Participants

**Andrea Aldana**, Lower Cape Community Development Partnership

**Rob Brennan**, Developer, CapeBuilt

**Leo Cakounes**, Cranberry Grower

**Melissa Cryan**, Massachusetts Division of Conservation Services

**Fred Gaechter**, Truro Conservation Trust

**Andrew Gottlieb**, Association to Preserve Cape Cod

**Elizabeth Jenkins**, Town of Barnstable

**Paul Lagg**, Town of Eastham

**Evan Lehrer**, Town of Mashpee

**Alisa Magnotta**, Housing Assistance Corporation

**Janet Milkman**, Barnstable Land Trust

**Mark Robinson**, Compact of Cape Cod Conservation Trusts

**Will Rubenstein**, Camp Wingate\*Kirkland

**Diana Ruiz**, Native Land Conservancy

**Steve Spear**, Natural Resources Conservation Service

**Susan Starkey**, Faith Communities Environmental Network

**Jessica Whritenour**, The 300 Committee

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# Meeting Schedule

**January 12, 2022**

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**BASELINE**

Planning and Regulatory  
Context

**February 9, 2022**

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**EXPLORING SOLUTIONS**

Discussion and Review of  
Existing Best Practices

**March 9, 2022**

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**IMPLEMENTATION**

Feedback and Identifying  
Next Steps

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# Consultant Role

## Task 1

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### **LITERATURE REVIEW**

A review of the existing local and regional planning and regulatory context, and best practices and strategies applied elsewhere

## Task 2

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### **ADDRESSING PRIORITIES**

Recommendations for incorporating best practices and strategies into local and regional planning and regulatory processes

## Task 3

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### **ENGAGEMENT**

Attend stakeholder meetings and share findings of research and analysis

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## AGENDA

# Meeting 1 Problem Overview

- Welcome and Introductions
- Regional Planning and Regulation
- Development Pressures on Agricultural, Recreational, and Institutional lands
- Facilitated Stakeholder Discussion
- Public Comment
- Closing Remarks and Next Steps



CAPE COD  
COMMISSION

# The Cape Cod Commission

...is the regional land use planning,  
economic development, and regulatory  
agency created in 1990 to serve the  
citizens and 15 towns of Barnstable  
County, Massachusetts



## MISSION

...To protect the unique values and quality of life on Cape Cod by coordinating a balanced relationship between environmental protection and economic progress.

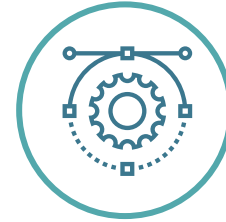


# What does the Commission do?

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Prepare and oversee implementation of a **Regional Policy Plan**



Review and regulate **Developments of Regional Impact**



Prepare and oversee **Regional Plans**



Recommend **Districts of Critical Planning Concern**

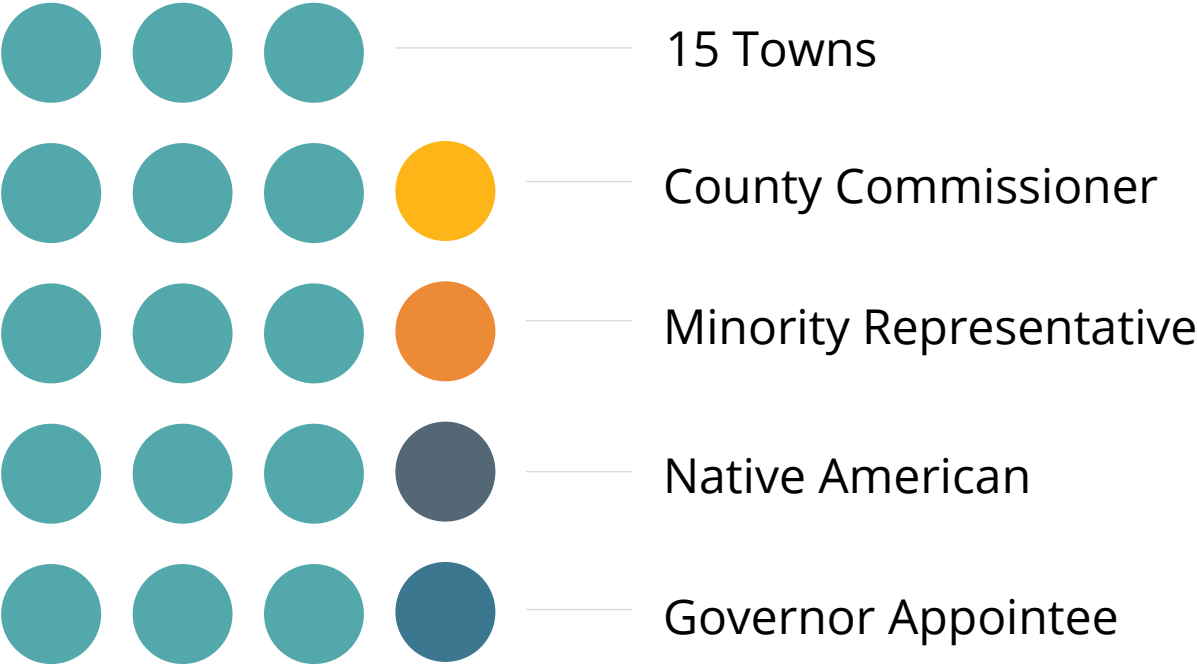


Provide **Technical Assistance** to towns

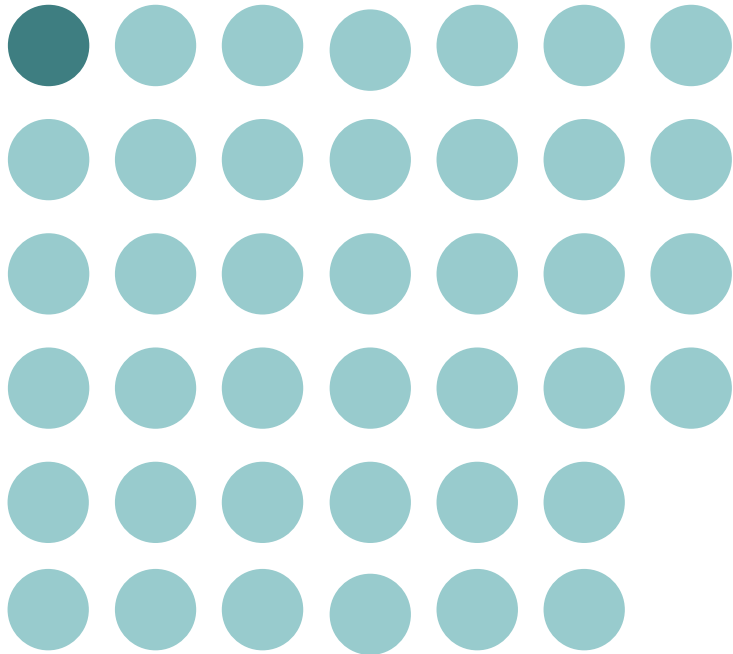
# Who is the Cape Cod Commission?

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19 MEMBER BOARD  
Votes on regulatory projects



EXECUTIVE DIRECTOR &  
TECHNICAL EXPERTS  
Staff provide multi-disciplinary expertise



# The Act | Cape Cod Commission Purposes

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**Anticipate, guide and coordinate** the rate and location of development with the capital facilities necessary to support such development

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Review developments which will have **impacts beyond their local community**

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**Identify and protect** areas whose characteristics make them particularly vulnerable to adverse effects of development

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# The Act | Cape Cod Commission Purposes

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Preserve the social diversity of Cape Cod by promoting fair **affordable housing** for low-income and moderate-income persons

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Promote the expansion of **employment opportunities**

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Implement a balanced and sustainable **economic development strategy** capable of absorbing the effects of seasonal fluctuations in economic activity

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C A P E C O D  
**REGIONAL**  
P O L I C Y P L A N

F R A M I N G T H E F U T U R E

CAPE COD COMMISSION | 2018



FOCUS GROWTH IN  
EXISTING CENTERS  
OF ACTIVITY

PROTECT AND  
PRESERVE THE  
REGION'S  
RESOURCES

# Cape Cod Placetypes



NATURAL  
AREAS



RURAL  
DEVELOPMENT  
AREAS



SUBURBAN  
DEVELOPMENT  
AREAS



HISTORIC  
AREAS



MARITIME  
AREAS



COMMUNITY  
ACTIVITY  
CENTERS



INDUSTRIAL  
ACTIVITY  
CENTERS

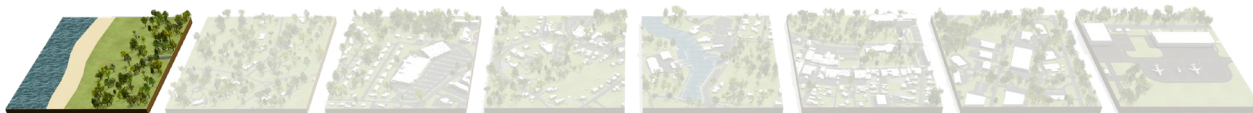
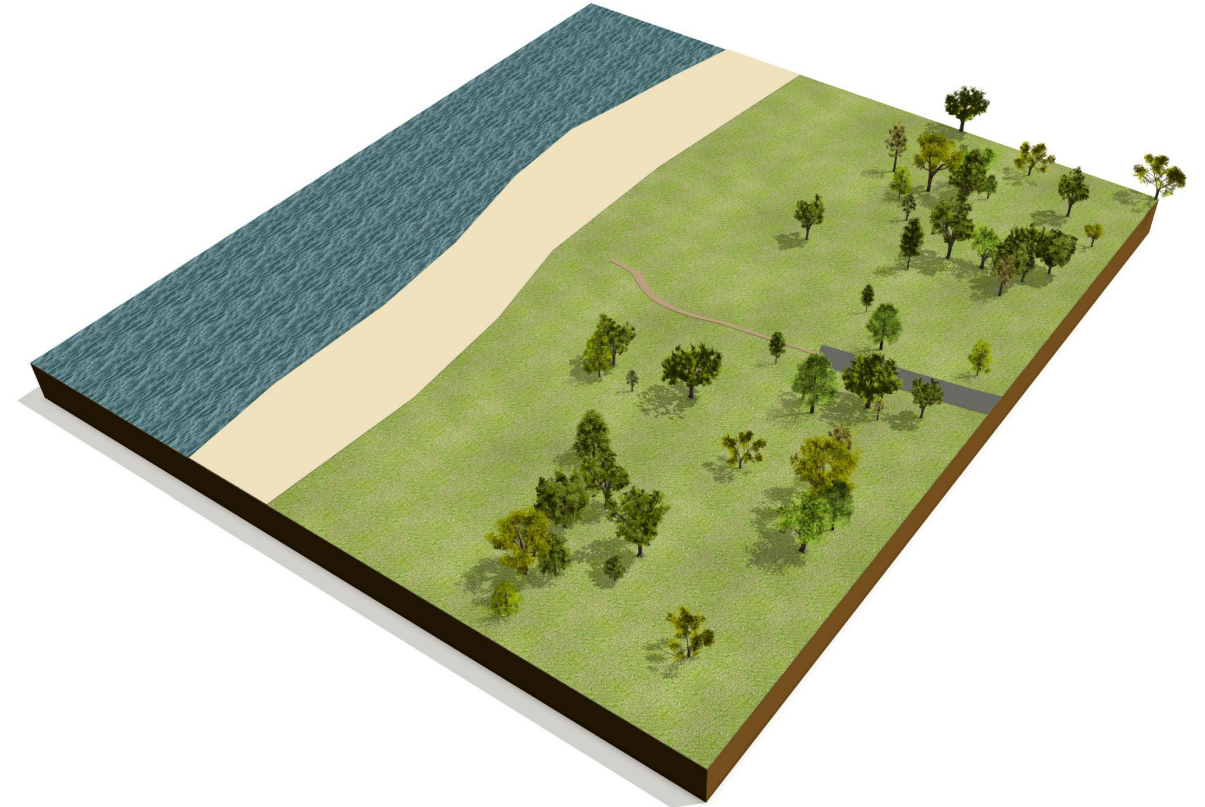


MILITARY AND  
TRANSPORTATION  
AREAS

# NATURAL AREAS

VISION: To minimize adverse development impacts to sensitive resource areas, to preserve lands that define Cape Cod's natural landscape and contribute to its scenic character, and to improve the Cape's resilience to severe storms and the effects of climate change.

Open space is required at 3:1 ratio

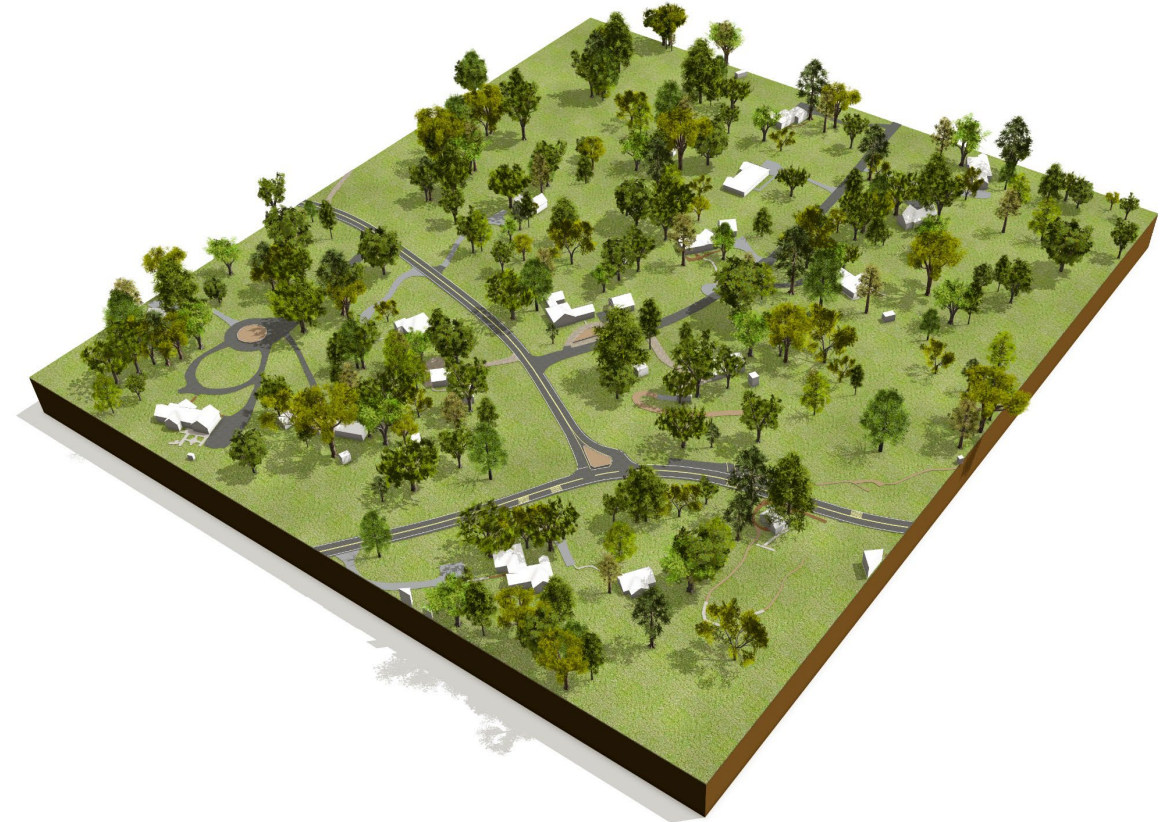




# RURAL DEVELOPMENT AREAS

VISION: To ensure that development is located, sited, and scaled appropriately to avoid impacts on scenic and/or cultural resources, and to help maintain the economic diversity that agriculture can provide for the region including opportunities for the continuation of traditional agricultural occupations, and for the availability of locally-grown food.

Open space is required at 2:1 ratio



# COMMUNITY ACTIVITY CENTERS

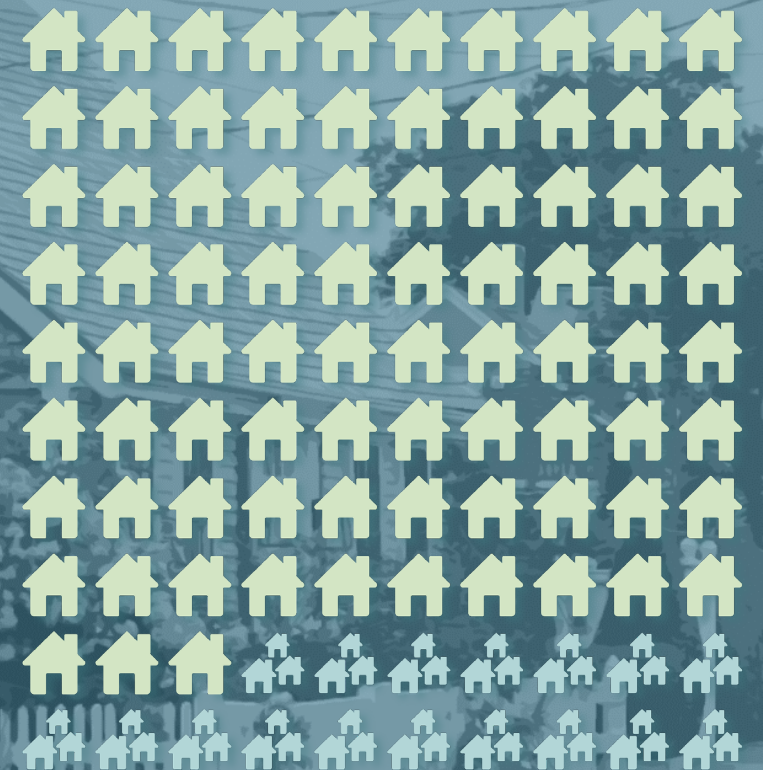
VISION: To accommodate mixed-use and multifamily residential development in a walkable, vibrant area, preserve historic buildings, and to provide diverse services, shopping, recreation, civic spaces, housing, and job opportunities, with adequate infrastructure and pedestrian amenities to support development.

Open space is required at 1:2 ratio

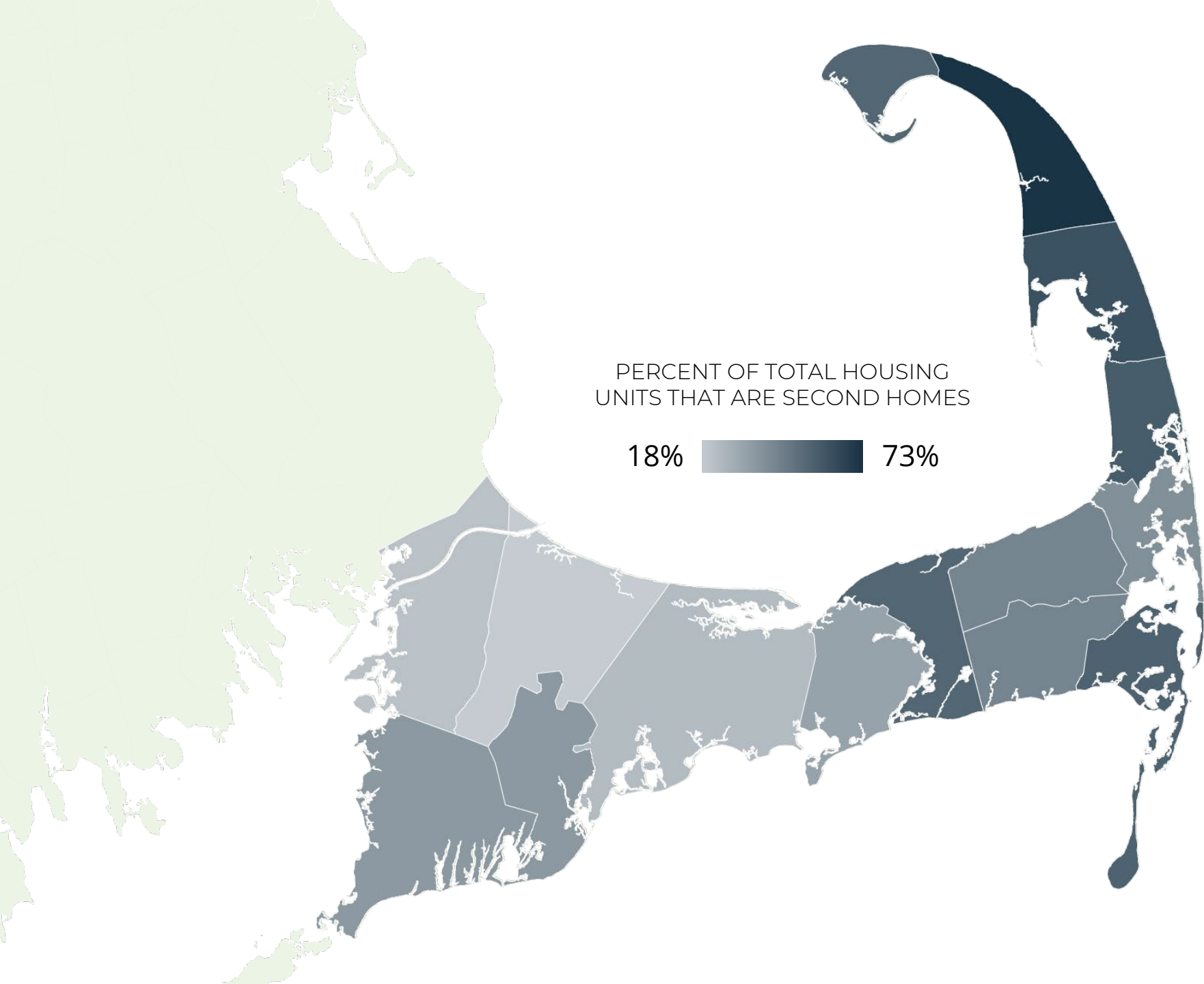


# 83%

SINGLE-FAMILY  
HOMES



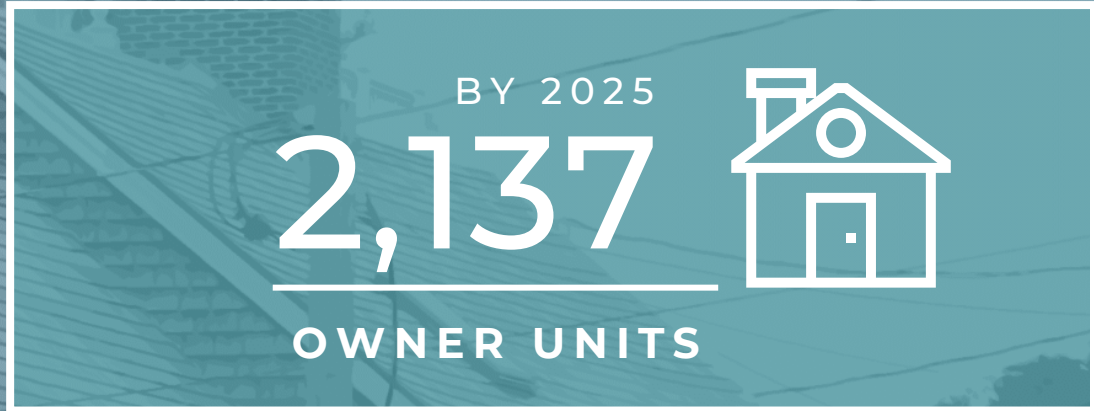
*Preliminary Analysis of Assessors' Data*



38%

of Cape Cod's  
housing stock is  
seasonal

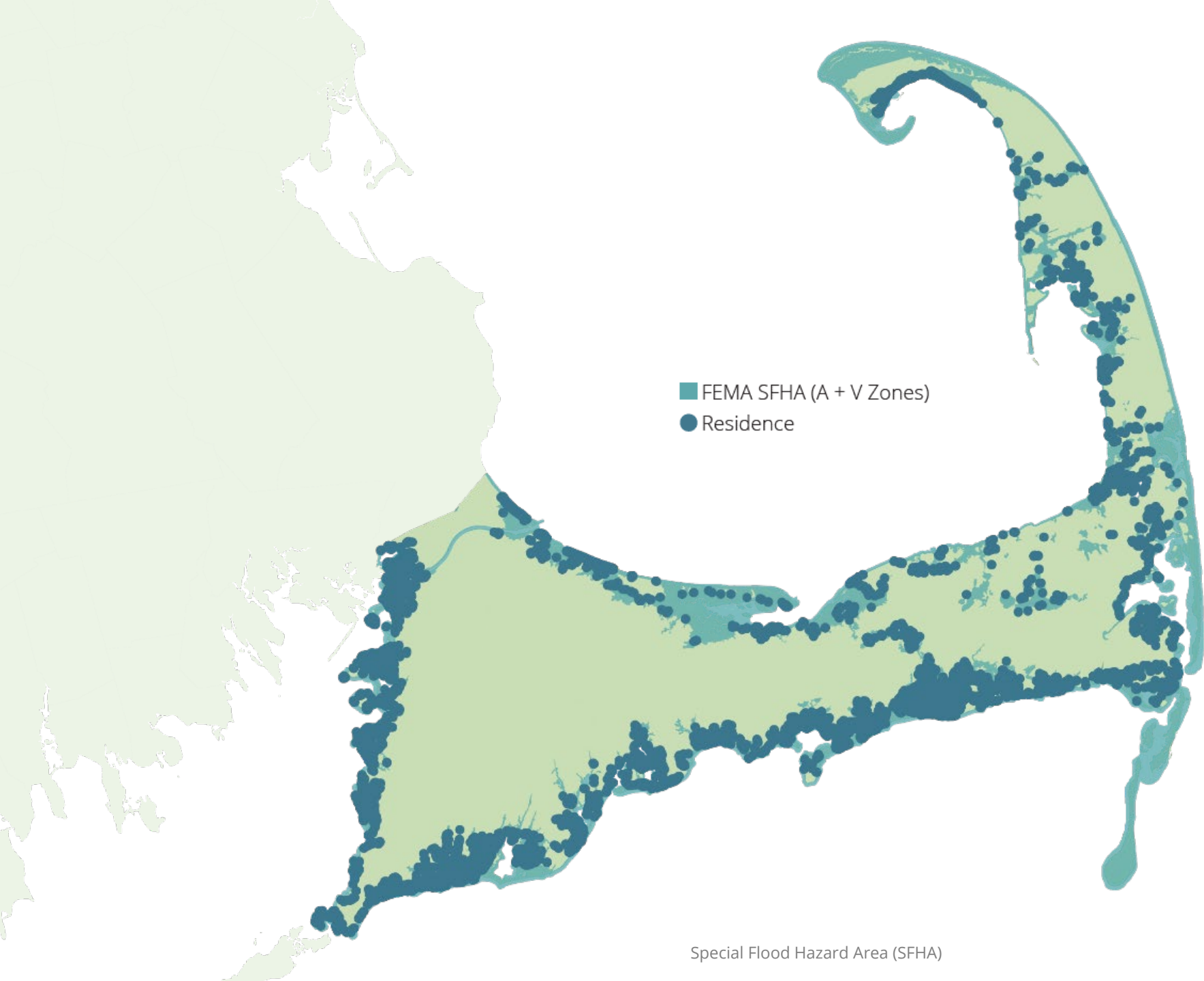
# REGIONAL HOUSING MARKET ANALYSIS DEMAND INCREASE



## NET INCREASE IN DEMAND FOR HOUSING UNITS 2015 - 2025

Ownership Units

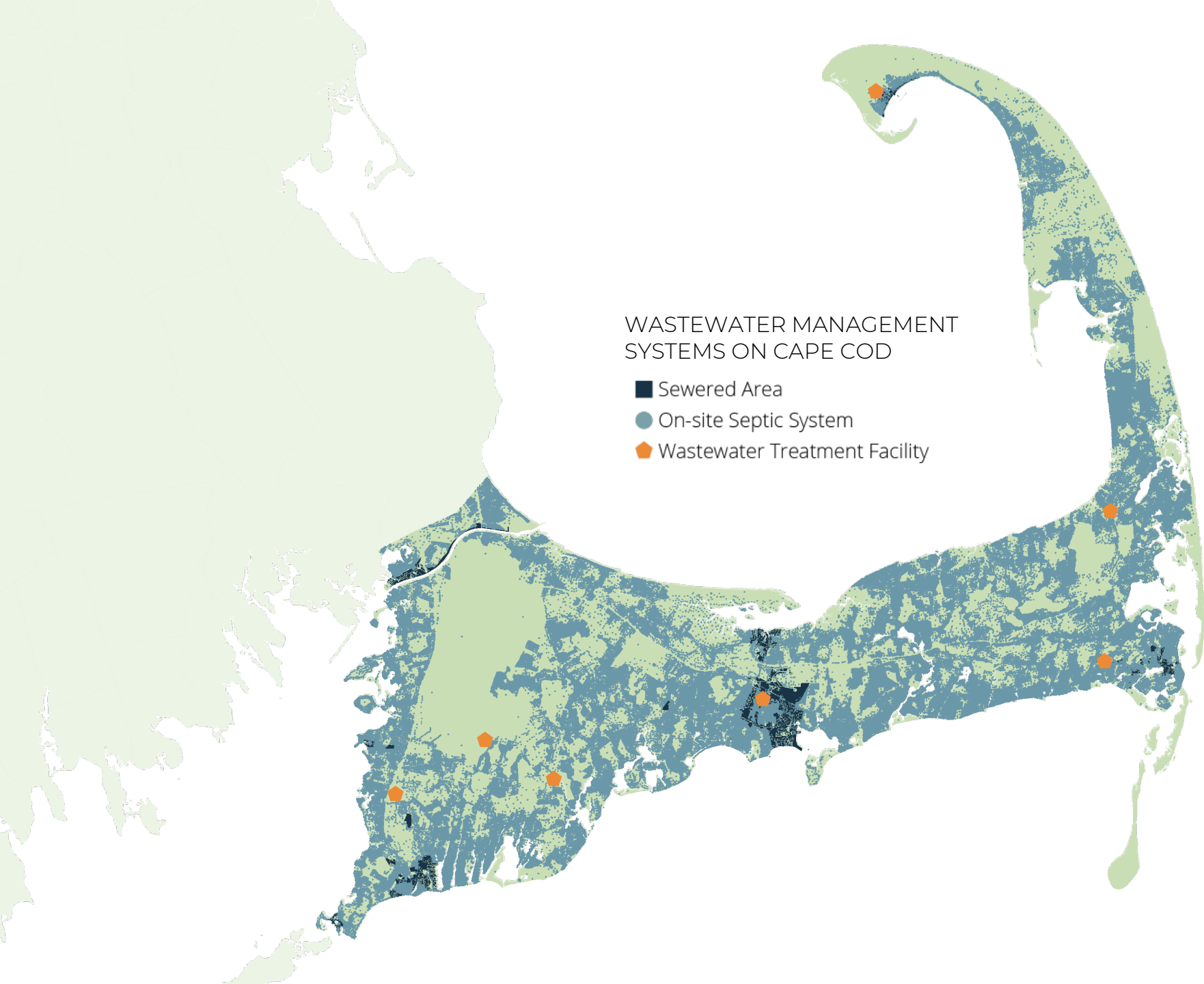
Renter Units



■ FEMA SFHA (A + V Zones)  
● Residence

**\$16**  
BILLION  
Assessed value of  
all property in the  
Special Flood  
Hazard Area

Special Flood Hazard Area (SFHA)



80%

Of the watershed load for nitrogen comes from **septic systems**



# Cape Cod Commission

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Regional Regulatory Review



# CCC Regulatory Review

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Project filed:

- Development of Regional Impact, or
- Development Agreement

Staff review of project impacts

Mitigation required consistent with impact and resources present

CCC board approves, with conditions, or denies projects



## Quantitative Analysis

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- Compare project impacts to existing conditions
- Redevelopment may receive “credit” for existing impacts – improve or make no worse
  - Site may have existing improvements/ investment
  - Acknowledgment that there are existing impacts
- New impacts must be mitigated

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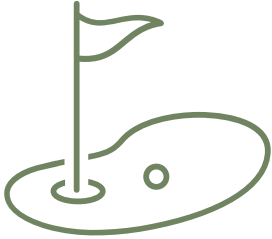
# CCC – Regulatory Review



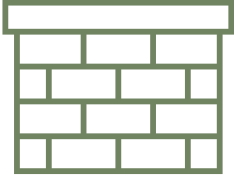
RESIDENTIAL  
SUBDIVISIONS



COMMERCIAL  
BUILDINGS



RECREATIONAL  
FACILITIES

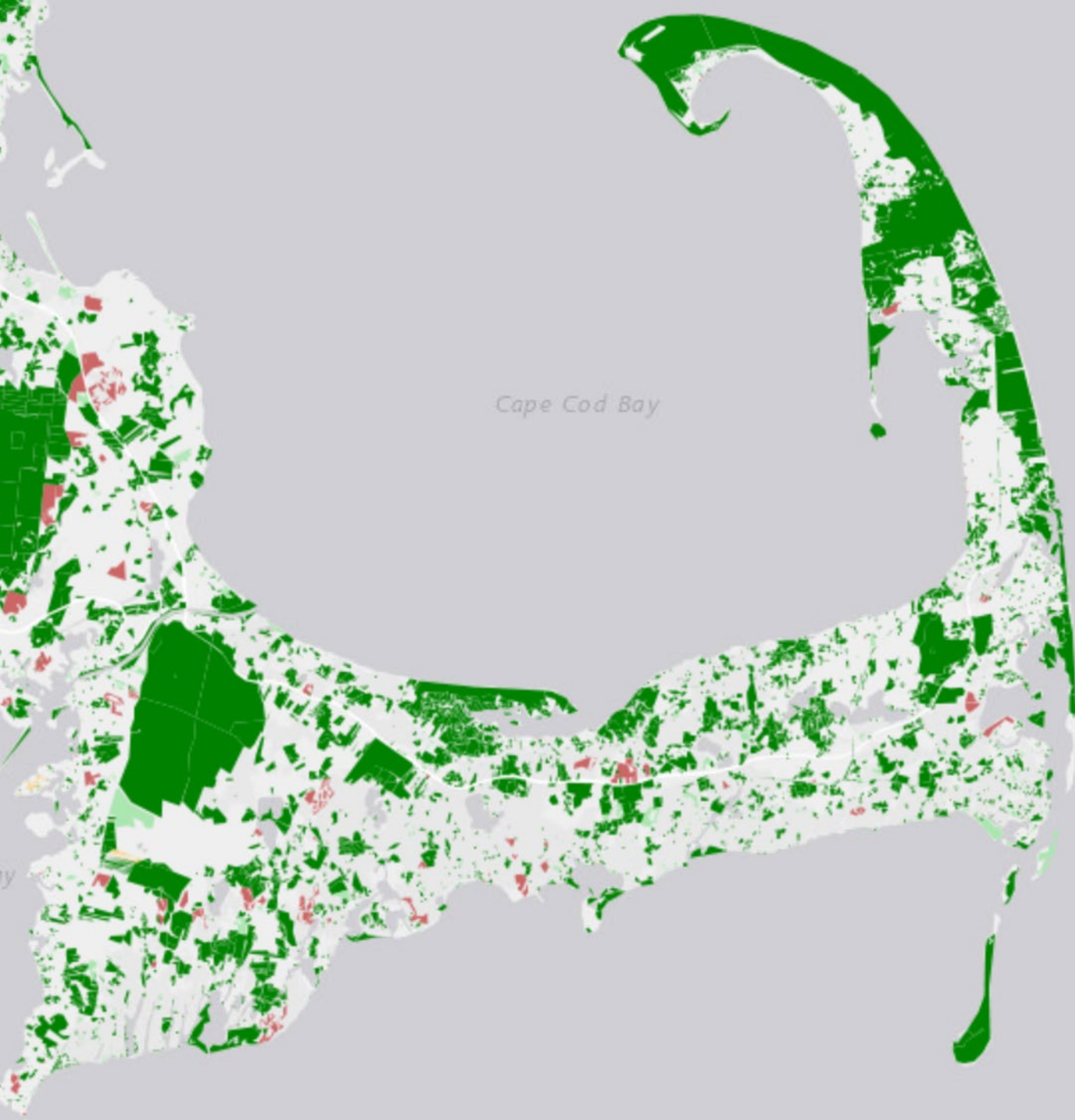


INFRASTRUCTURE



# Recent Development Trends

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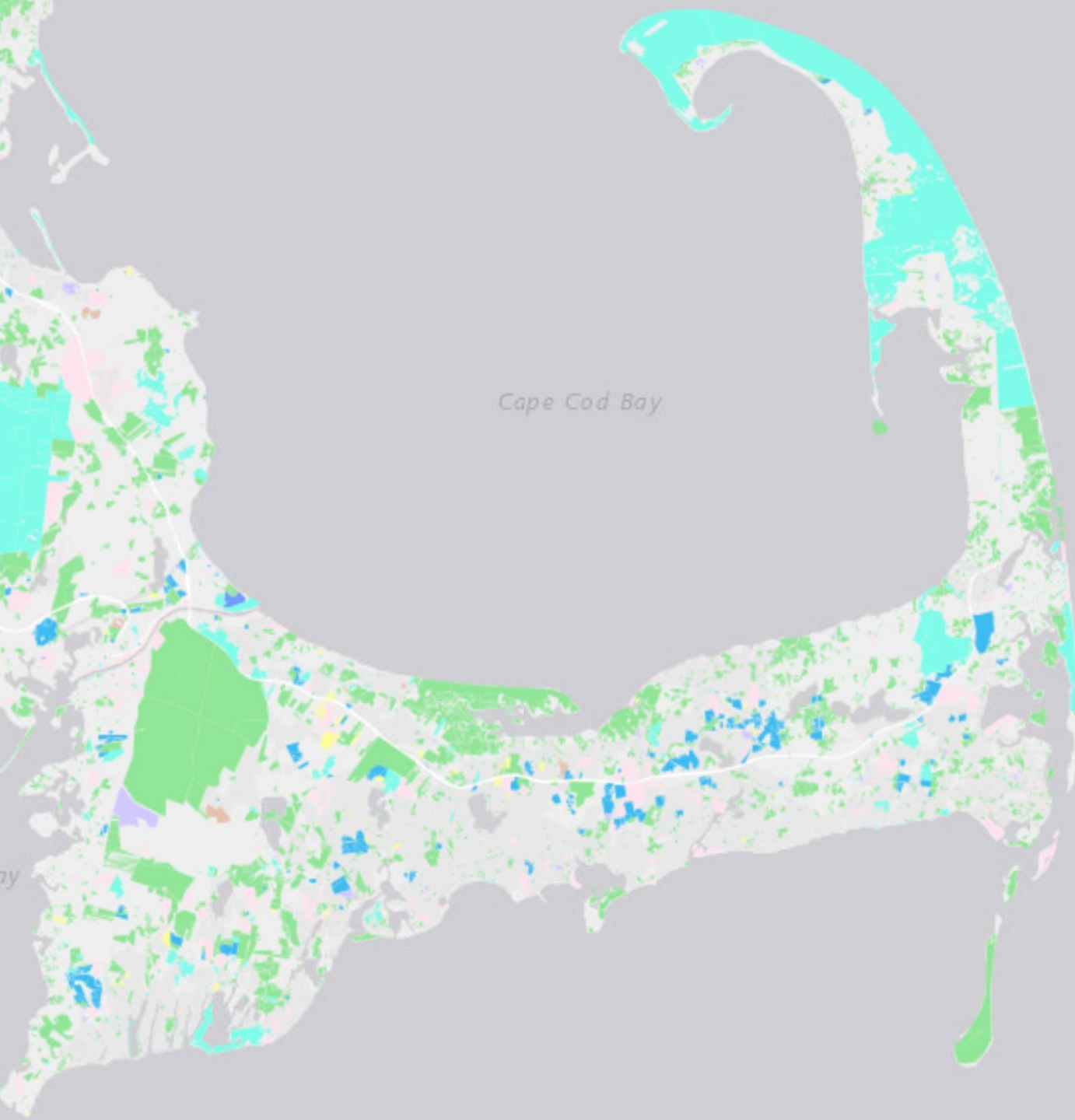


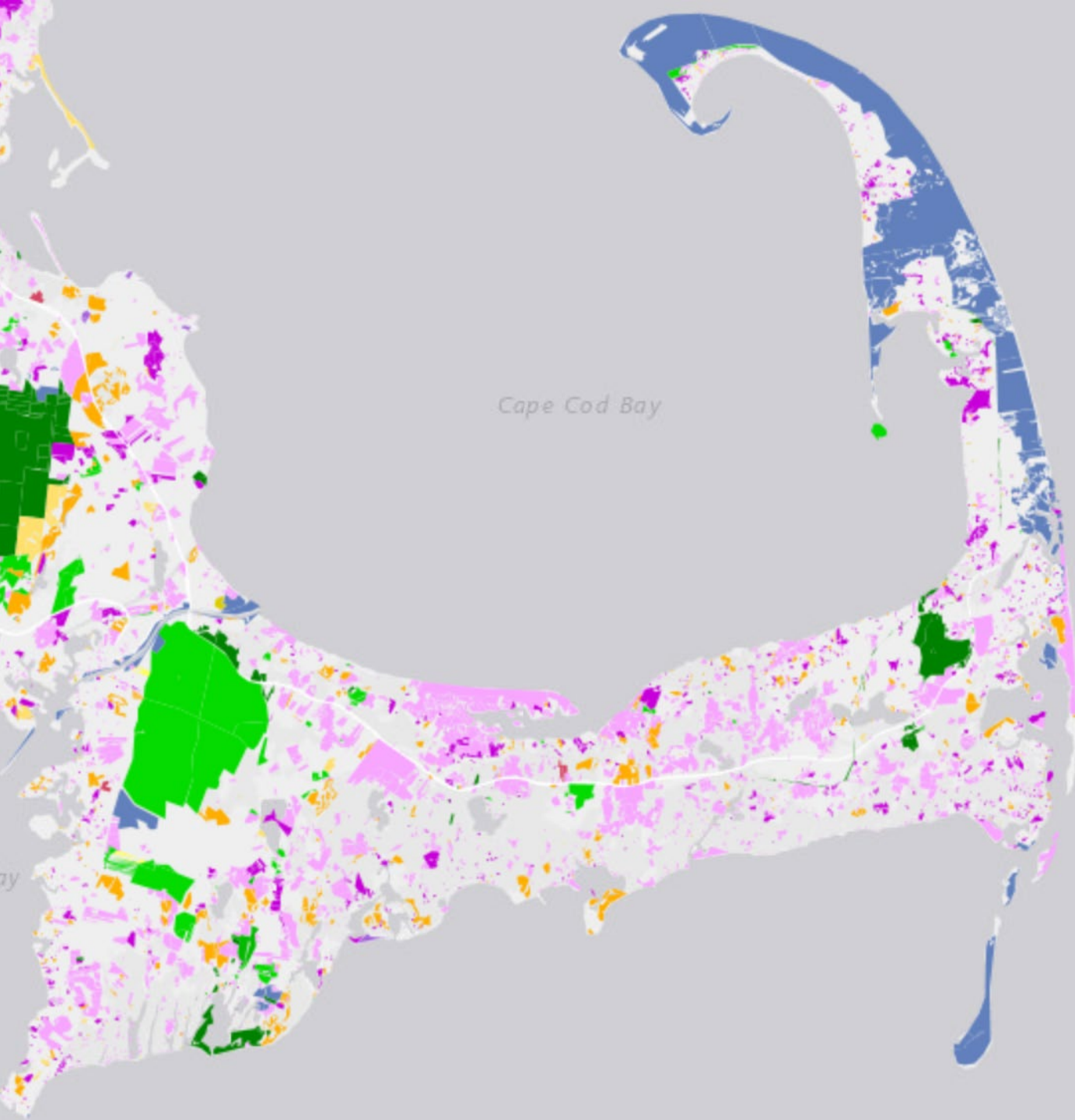
## Openspace by Level of Protection

- IN PERPETUITY
- LIMITED
- TERM LIMITED
- NONE
- UNKNOWN

## Openspace by Primary Purpose

- CONSERVATION
- RECREATION
- CONSERVATION AND RECREATION
- AGRICULTURE
- HABITAT
- HISTORICAL/CULTURAL
- SCENIC (OFFICIAL DESIGNATION ONLY)
- WATER SUPPLY
- FLOOD CONTROL
- UNDERWATER
- OTHER
- UNKNOWN





## Openspace by Ownership Solid

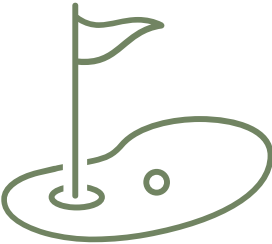
- Federal
- DCR-State Parks\_Recreation
- DCRS/DFG
- Department of Fish\_Game
- DCR-Urban Parks\_Recreation
- DCR-Water Supply Protection
- Department of Agricultural Resources
- Commonwealth of Massachusetts
- County
- Municipal
- Public Non-Profit
- Land Trust
- Conservation Organization
- Non-Profit
- Private
- Other
- Unknown

# Changes to Agricultural, Recreational, and Institutional Lands



0.26 Acres

Agricultural  
to  
Developed



110 Acres

Recreational  
to  
Developed



0 Acres

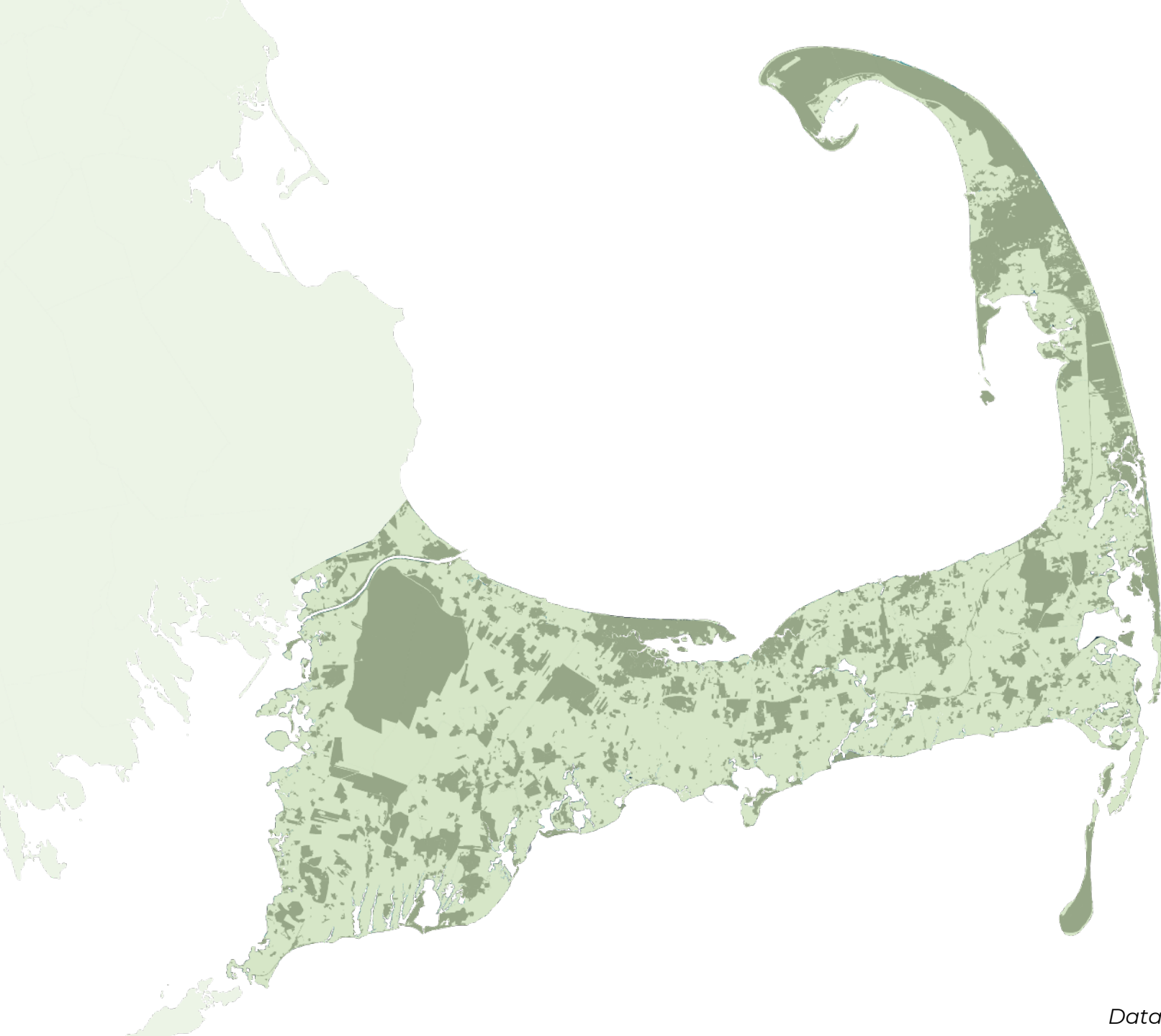
Institutional  
to  
Developed



76 Acres

Other Open Land  
to  
Developed






### Changes to Open Space 2010 - 2021

**5,959** Open Space Acres  
**Added**

**(3,085)** Open Space Acres  
**Converted**

**2,874** **Net Gain** of  
Open Space Acres

PROTECTED OPEN SPACE  
 90,000 acres

*Data source: MassGIS protected and recreational open space data*



# Discussion

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# Public Comment

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