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HYANNIS PHASE II

WILKENS LANE, HYANNIS MA

THE HANOVER COMPANY

CONCEPTUAL SITE PLAN SUBMISSION - 08-02-2024



ARCHITECT OF RECORD: FRED WILSON
REGISTRATION NUMBER: 16622

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

PROJECT NO: 23-34

SHEET CONTENTS:
RENDER

SCALE:
SHEET NO.

A-01

Autodesk Docs/Hanover 2023/Hanover 23-34-1
8/2/2024 3:01:29 PM

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ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

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PROJECT NO: **23-34**

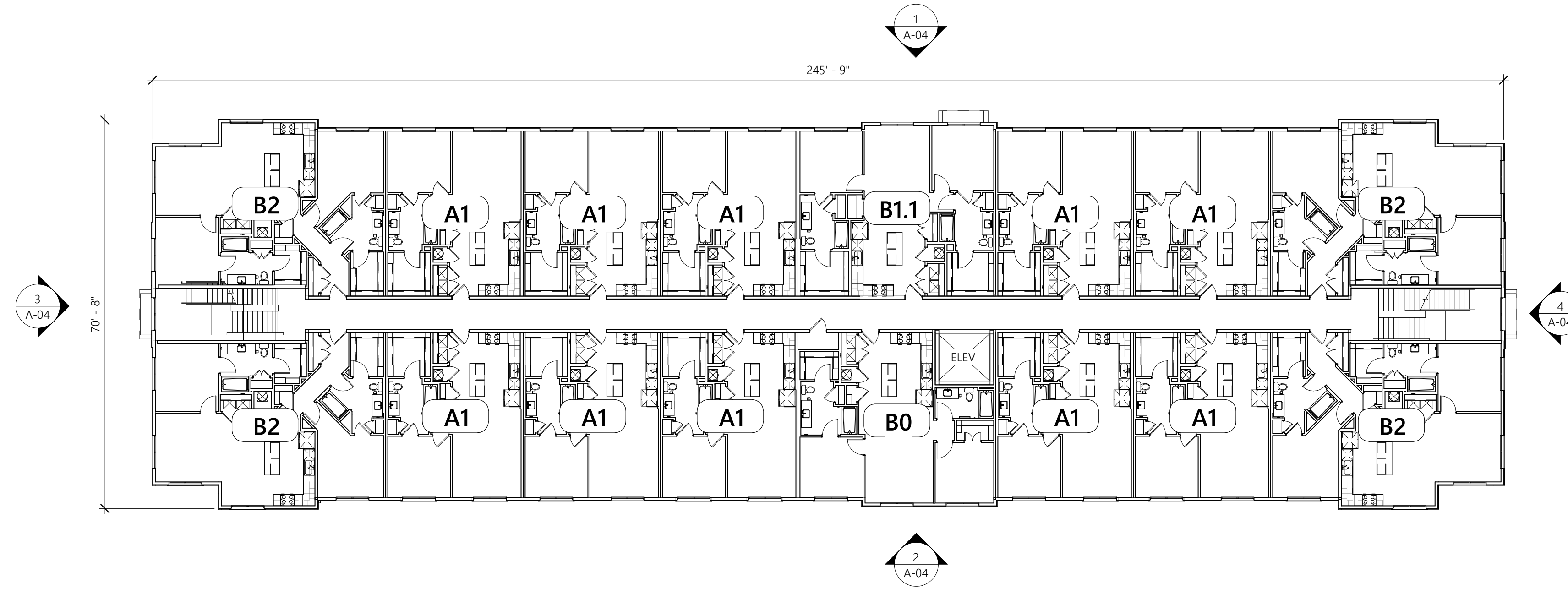
SHEET CONTENTS:
RENDER 02

SCALE:
SHEET NO.

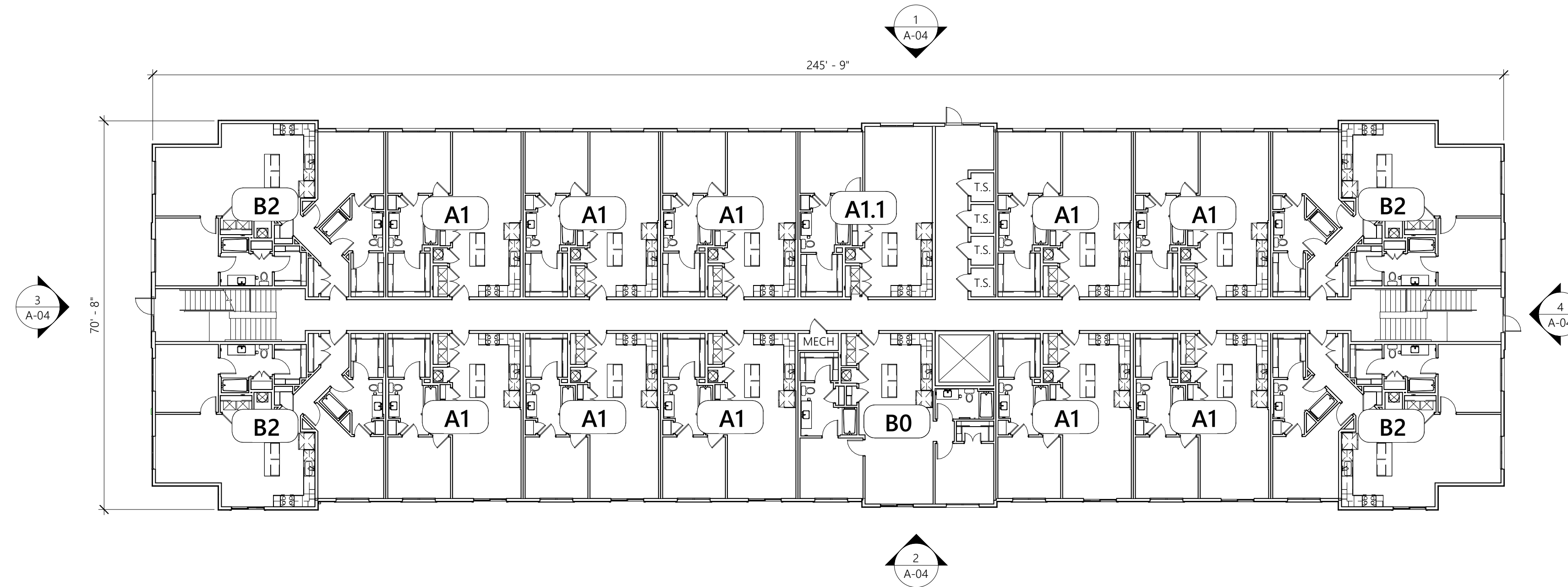
A-02

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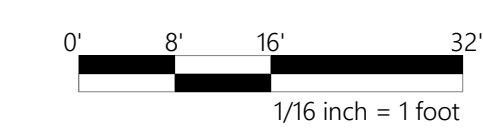
2 BLDG T01 - LEVELS 2-4
SCALE: 1/16" = 1'-0"



1 BLDG T01 - LEVEL 1
SCALE: 1/16" = 1'-0"

BUILDING PLAN LEGEND:			
---	2 HR. OR 3 HR. FIREWALL	TELE.	TELECOMM CLOSET
☒	FIRE EXTINGUISHER CABINET (SEMI RECESSED)	MECH.	MECHANICAL CLOSET
☒	STANDPIPE HOSE CABINET (SEMI RECESSED)	T.S.	TENANT STORAGE
☒	FIRE EXTINGUISHER (WALL MOUNTED)	M.C.	METER CLOSET
☒	SCHEDULED PARTITION TYPE	E.V.	ELECTRICAL CAR CHARGING STATION
☒	SCHEDULED DOOR TYPE	C	COMPACT PARKING SPACE TYPE
☒	SCHEDULED WINDOW TYPE	—	PRECAST CONC. WHEEL STOP, ANCHOR TO CONCRETE SLAB
☒	SCHEDULED STOREFRONT	B.	BOLLARD
B.F.T.	BARRIER FREE THRESHOLD	S.C.	STEEL COLUMN (RE: STRUCT. DWG'S FOR SIZE)
F.O.S.	FACE OF STUD (WOOD)	E.J.	EXPANSION JOINT
F.O.M.	FACE OF MASONRY	D.D.	DECK DRAIN
F.O.C.	FACE OF CONCRETE	S.P.	STANDPIPE
A.S.	AIRSPACE	F.D.	FLOOR DRAIN
M.O.	MASONRY OPENING		
A.S.	AIRSPACE		

GENERAL NOTES:	
WALL FRAMING NOTES:	
1. ALL LEVELS OF EXTERIOR WALL FRAMING SHALL BE 2X6 FRAMING UNLESS NOTED OTHERWISE.	
2. ALL LEVELS INTERIOR CORRIDOR WALL FRAMING SHALL BE 2X6 FRAMING UNLESS NOTED OTHERWISE.	
3. REFER TO UNIT PLANS FOR LOCATION OF ALL 2X6 WALLS	
4. ALL CONCRETE COLUMNS BELOW PODIUM IN UNITS SHALL BE WRAPPED IN FURRING CHANNEL + GYP.	
COMMON AREA FLOOR FINISHES:	
NOTE: REFER TO ID DWG'S FOR LOCATIONS AND MATERIALS OF FLOOR FINISHES NOT LISTED BELOW.	
BUILDING CORRIDORS:	CARPET
TENANT STORAGE:	CLEAR, NON-SLIP SEALER
ELEC. ROOMS:	CLEAR, NON-SLIP SEALER
MECHANICAL CLOSETS:	CLEAR, NON-SLIP SEALER



ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

PROJECT NO: **23-34**
SHEET CONTENTS:
BUILDING T01 PLANS

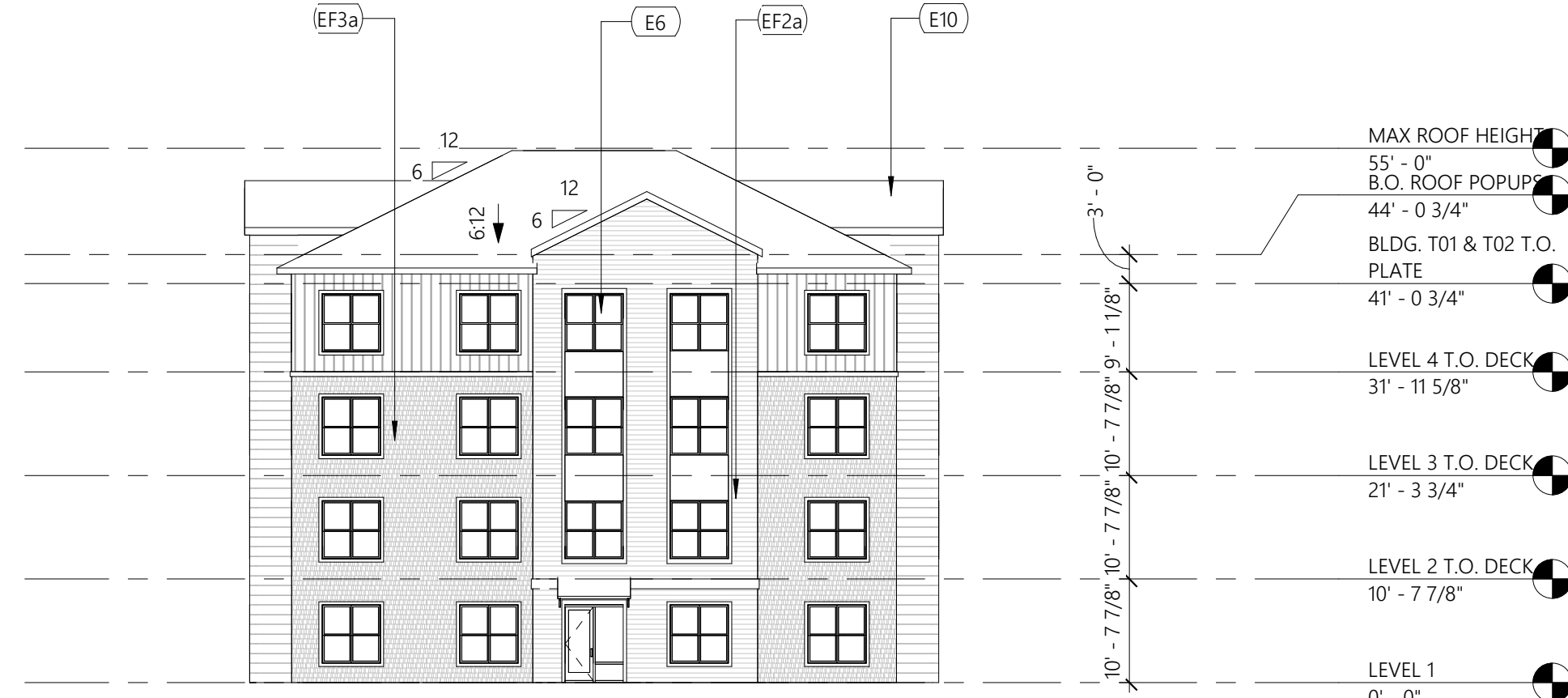
SCALE: 1/16" = 1'-0"
SHEET NO. **A-03**

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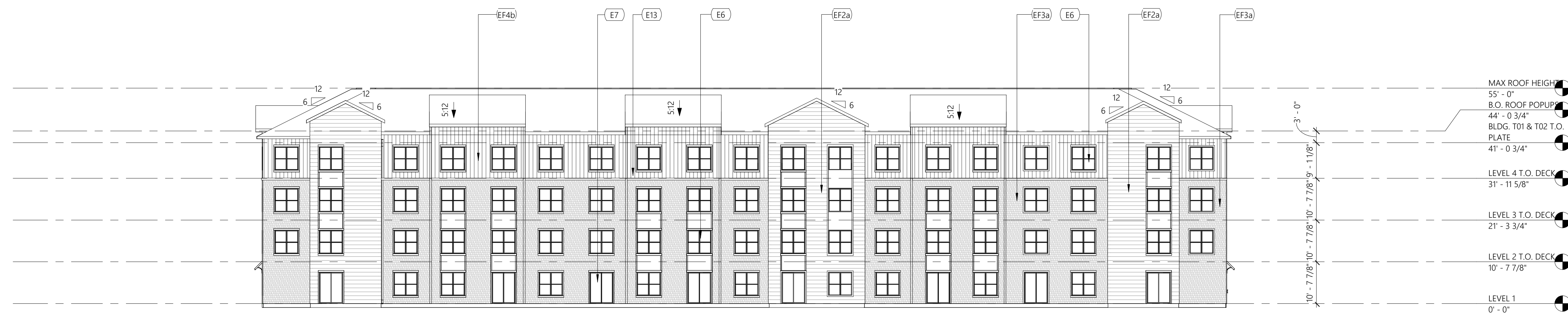
3 BUILDING T01 SIDE ELEVATION A
SCALE: 1/16" = 1'-0"



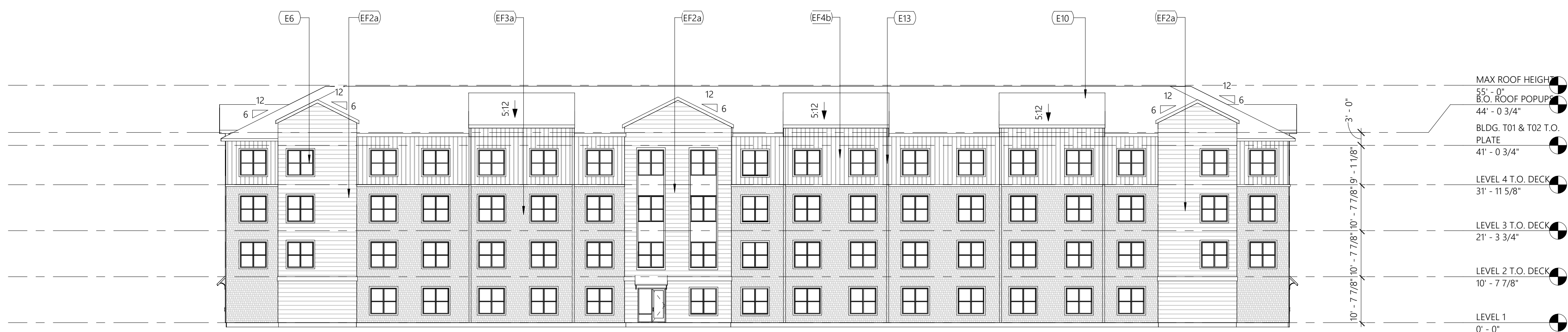
4 BUILDING T01 SIDE ELEVATION B
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND	
KEY VALUE	KEYNOTE TEXT
EF2a	VINYL LAP SIDING 01
EF3a	VINYL CEDAR SHAKE 01
EF4b	VINYL BOARD & BATTEN SIDING 02

EXTERIOR KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E6	6X6 VINYL WINDOWS, COLOR WHITE
E7	6'-4" SLIDING DOORS, COLOR WHITE
E10	COMPOSITE SHINGLES ROOF SYSTEM
E13	DOWNSPOUT




2 BUILDING T01 BACK ELEVATION
SCALE: 1/16" = 1'-0"



1 BUILDING T01 FRONT ELEVATION
SCALE: 1/16" = 1'-0"

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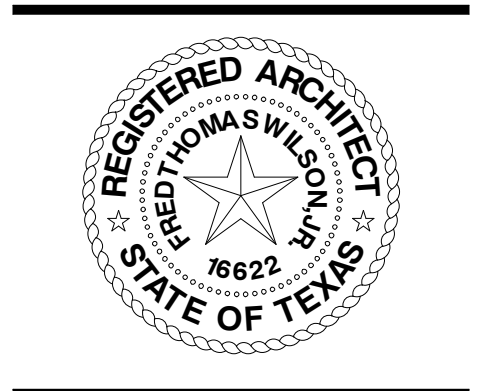


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HYANNIS PHASE II
WILKENS LANE, HYANNIS MA

THE HANOVER COMPANY

CONCEPTUAL SITE PLAN SUBMISSION - 08-02-2024



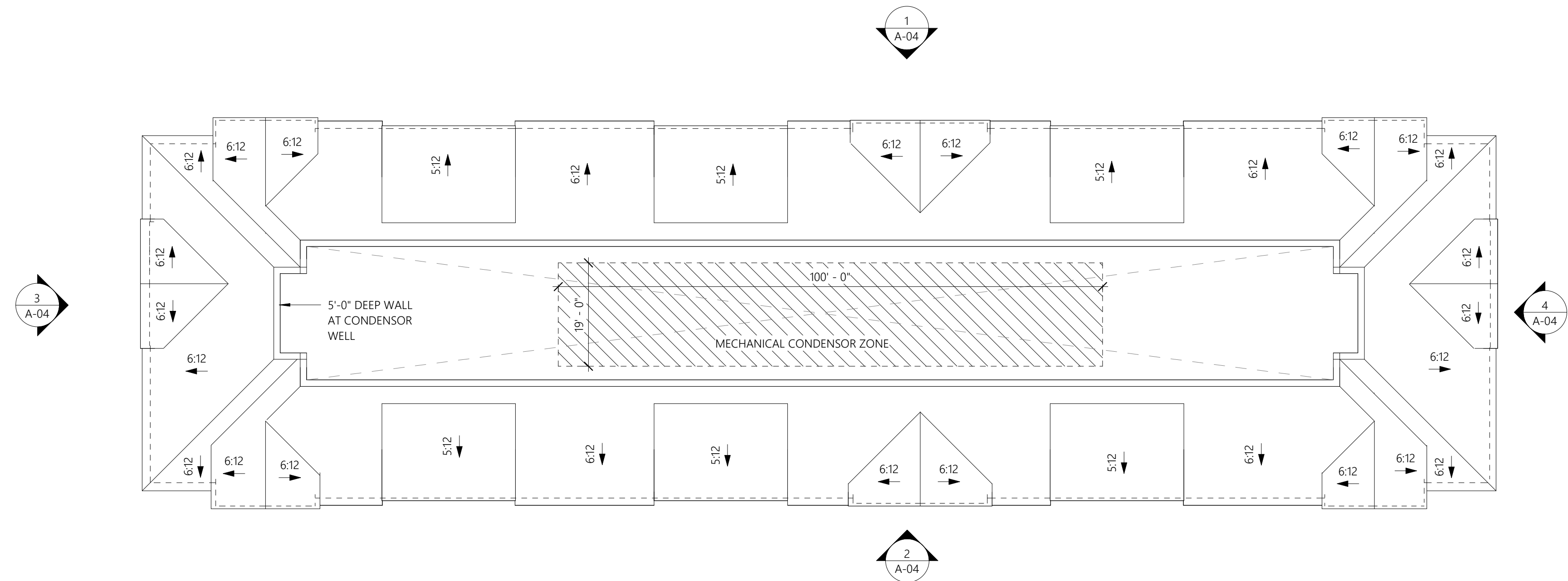
ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

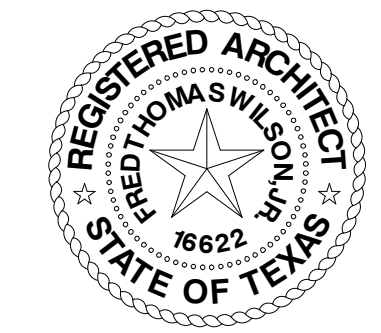
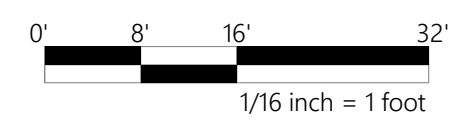
PROJECT NO: **23-34**
SHEET CONTENTS:
BUILDING T01 ELEVATIONS

SCALE: 1/16" = 1'-0"
SHEET NO. **A-04**

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1 BLDG T01 - ROOF PLAN
SCALE: 1/16" = 1'-0"



ARCHITECT OF RECORD:
FRED WILSON

REGISTRATION NUMBER:
16622

ISSUED:
08/02/24 - CONCEPTUAL SITE PLAN
SUBMISSION

PROJECT NO: **23-34**

SHEET CONTENTS:
**BUILDING T01
ROOF PLAN**

SCALE: 1/16" = 1'-0"

SHEET NO.
A-05

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HYANNIS PHASE II
WILKENS LANE, HYANNIS MA

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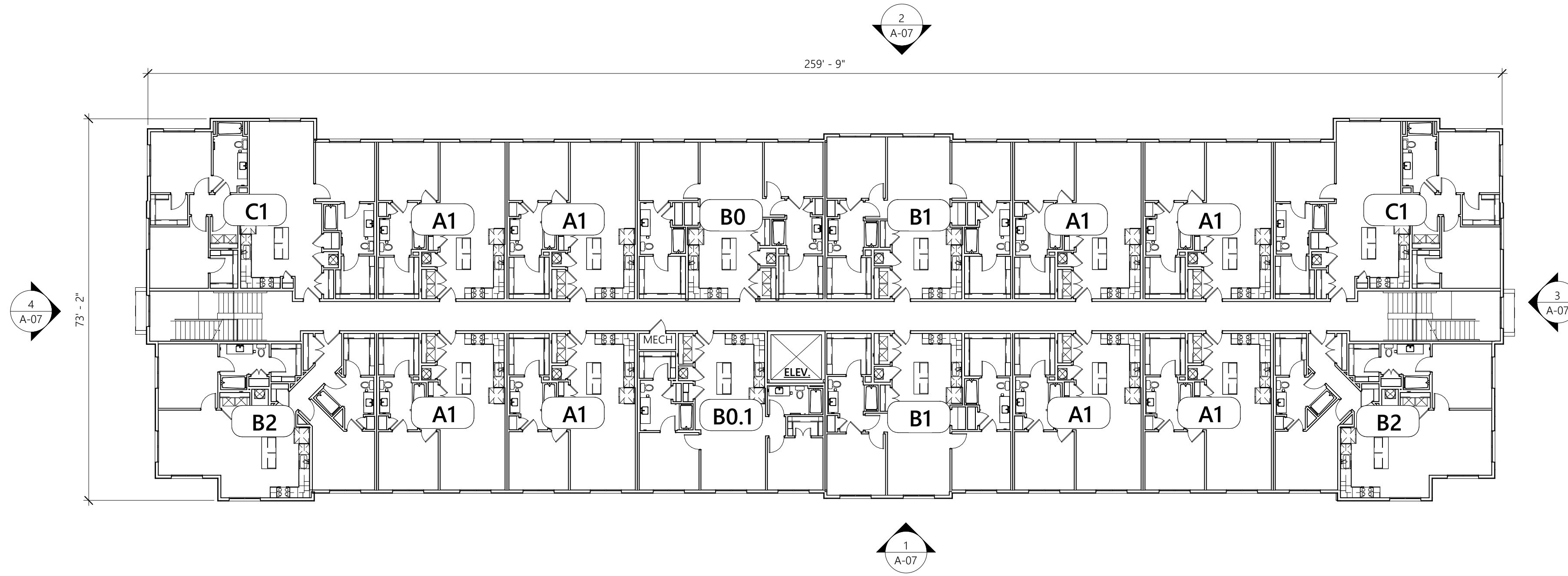
CONCEPTUAL SITE PLAN SUBMISSION - 08-02-2024



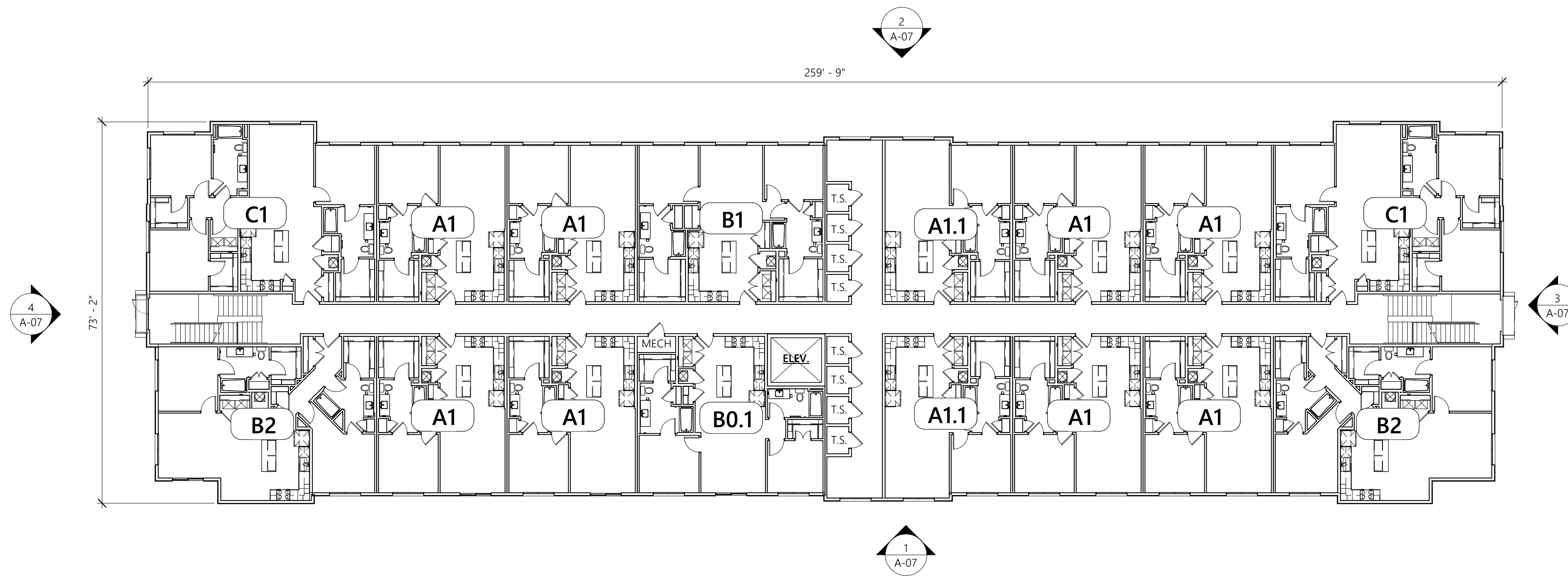
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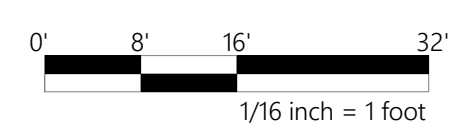
2 BLDG T02 - LEVELS 2-4
SCALE: 1/16" = 1'-0"



1 BLDG T02 - LEVEL 1
SCALE: 1/16" = 1'-0"

BUILDING PLAN LEGEND:			
---	2 HR. OR 3 HR. FIREWALL	TELE.	TELECOMM CLOSET
☒	FIRE EXTINGUISHER CABINET (SEMI RECESSED)	MECH.	MECHANICAL CLOSET
☒	STANDPIPE HOSE CABINET (SEMI RECESSED)	T.S.	TENANT STORAGE
☒	FIRE EXTINGUISHER (WALL MOUNTED)	M.C.	METER CLOSET
☒	SCHEDULED PARTITION TYPE	E.V.	ELECTRICAL CAR CHARGING STATION
☒	SCHEDULED DOOR TYPE	C	COMPACT PARKING SPACE
☒	SCHEDULED WINDOW TYPE		PRECAST CONC. WHEEL STOP, ANCHOR TO CONCRETE SLAB
☒	SCHEDULED STOREFRONT	B.	BOLLARD
B.F.T.	BARRIER FREE THRESHOLD	S.C.	STEEL COLUMN (RE: STRUCT. DWG'S FOR SIZE)
F.O.S.	FACE OF STUD (WOOD)	E.J.	EXPANSION JOINT
F.O.M.	FACE OF MASONRY	D.D.	DECK DRAIN
F.O.C.	FACE OF CONCRETE	S.P.	STANDPIPE
A.S.	AIRSPACE	F.D.	FLOOR DRAIN
M.O.	MASONRY OPENING		
A.S.	AIRSPACE		

GENERAL NOTES:	
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4. ALL CONCRETE COLUMNS BELOW PODIUM IN UNITS SHALL BE WRAPPED IN FURRING CHANNEL + GYP.	
COMMON AREA FLOOR FINISHES:	
NOTE: REFER TO ID DWG'S FOR LOCATIONS AND MATERIALS OF FLOOR FINISHES NOT LISTED BELOW.	
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MECHANICAL CLOSETS:	CLEAR, NON-SLIP SEALER



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HYANNIS PHASE II
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THE HANOVER COMPANY

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ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

PROJECT NO: **23-34**
SHEET CONTENTS:
BUILDING T02 PLANS

SCALE: 1/16" = 1'-0"
SHEET NO. **A-06**

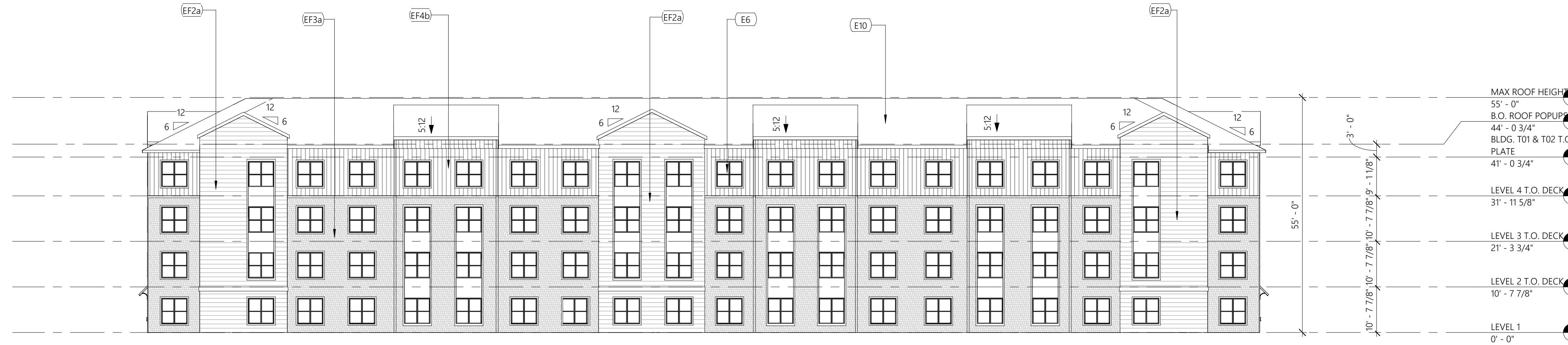
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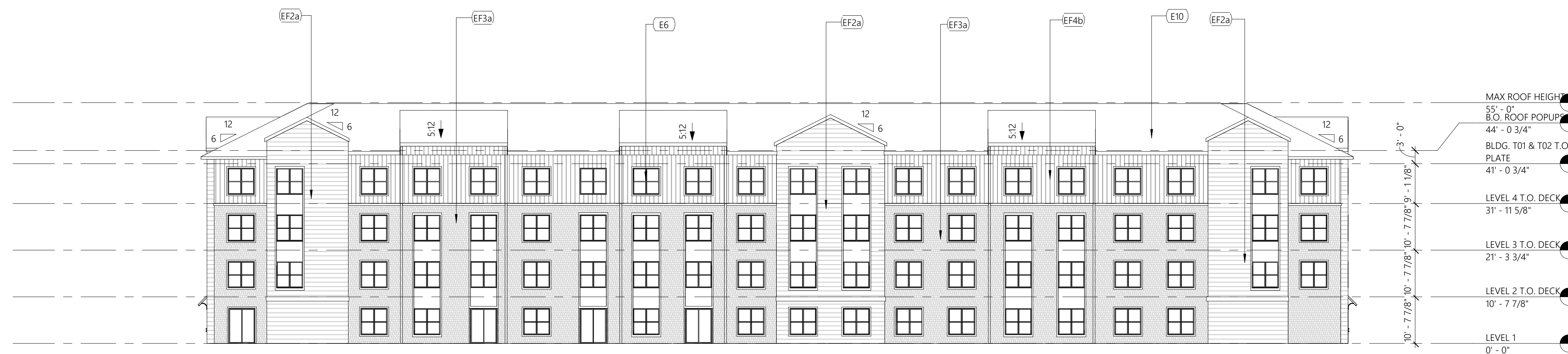
4 BUILDING T02 SIDE ELEVATION A
SCALE: 1/16" = 1'-0"



3 BUILDING T02 SIDE ELEVATION B
SCALE: 1/16" = 1'-0"



2 BUILDING T02 BACK ELEVATION
SCALE: 1/16" = 1'-0"



1 BUILDING T02 FRONT ELEVATION
SCALE: 1/16" = 1'-0"

EXTERIOR FINISH LEGEND	
KEY VALUE	KEYNOTE TEXT
EF2a	VINYL LAP SIDING 01
EF3a	VINYL CEDAR SHAKE 01
EF4b	VINYL BOARD & BATTEN SIDING 02

EXTERIOR KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E6	6X6 VINYL WINDOWS, COLOR WHITE
E10	COMPOSITE SHINGLES ROOF SYSTEM

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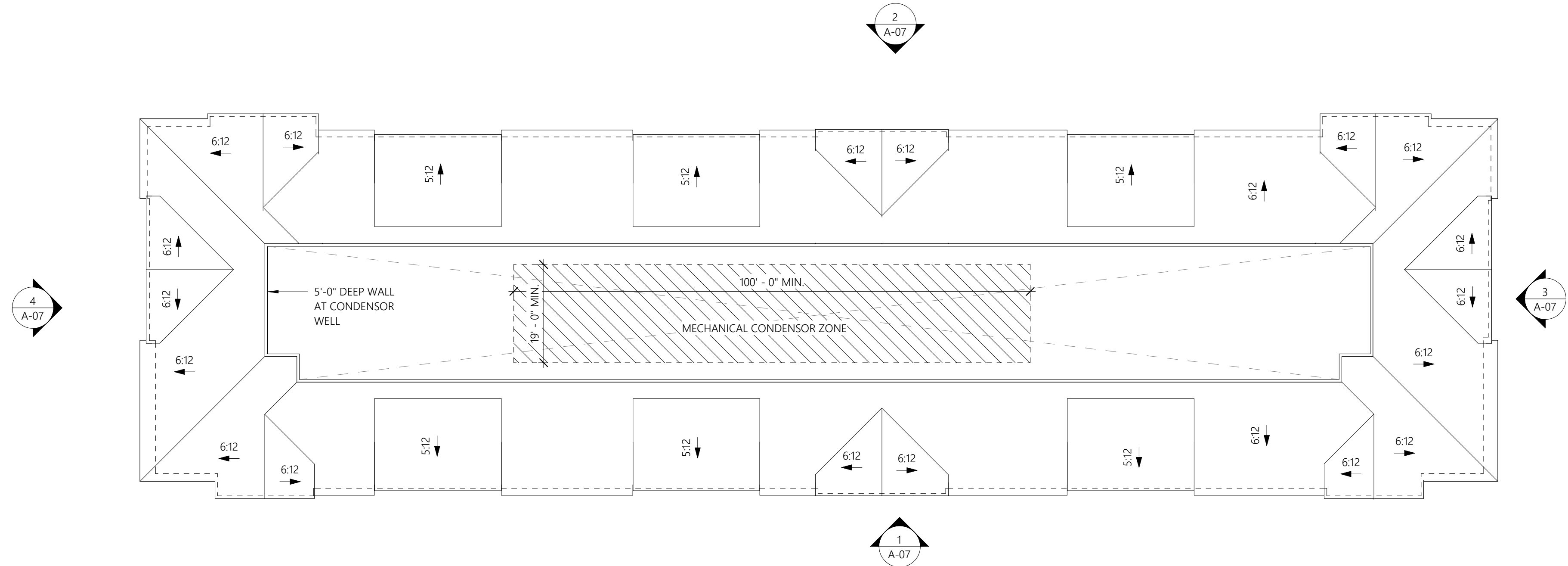
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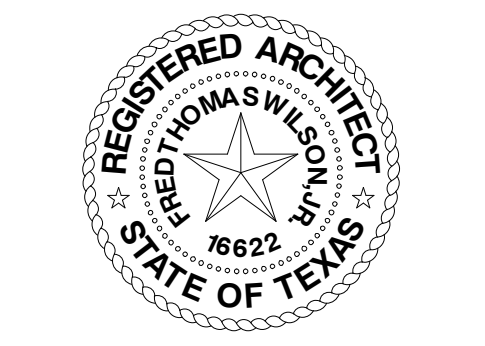
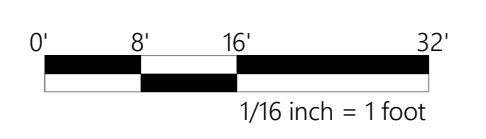
PROJECT NO: **23-34**
SHEET CONTENTS:
BUILDING T02 ELEVATIONS

SCALE: 1/16" = 1'-0"
SHEET NO. **A-07**

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1 BLDG T02 - ROOF PLAN
SCALE: 1/16" = 1'-0"



ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

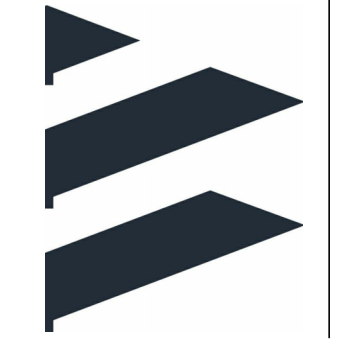
PROJECT NO: **23-34**
SHEET CONTENTS:
BUILDING T02
ROOF PLAN

SCALE: 1/16" = 1'-0"
SHEET NO. **A-08**

HYANNIS PHASE II
WILKENS LANE, HYANNIS MA

THE HANOVER COMPANY

CONCEPTUAL SITE PLAN SUBMISSION - 08-02-2024



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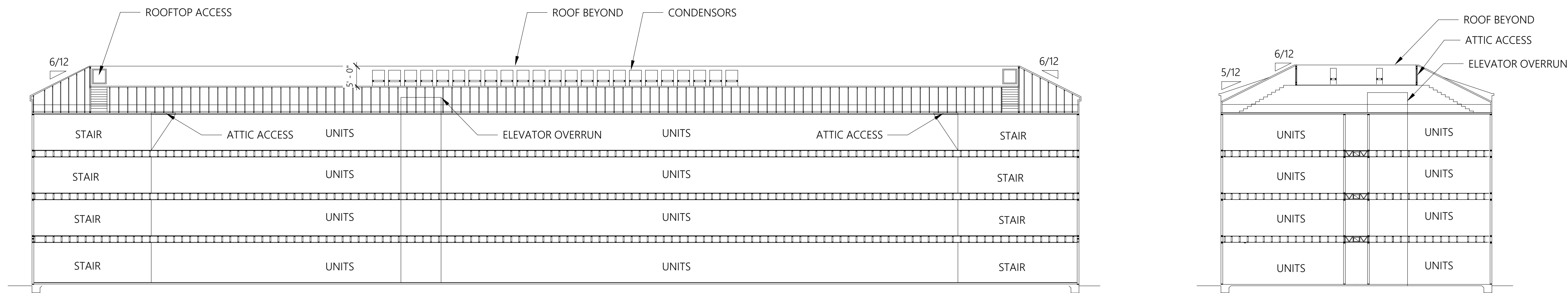
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3 PERSPECTIVE 02
SCALE: 1/16" = 1'-0"



2 PERSPECTIVE 01
SCALE: 1/16" = 1'-0"



1 ROOF CONCEPTUAL SECTION
SCALE: 1/16" = 1'-0"



ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

PROJECT NO: **23-34**

SHEET CONTENTS:
ROOF/BLDG CONCEPTUAL SECTIONS

SCALE: 1/16" = 1'-0"

SHEET NO.

A-09

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2 CLUB - SIDE ELEVATION A
SCALE: 1/4" = 1'-0"



1 CLUB - FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
KEY VALUE	KEYNOTE TEXT
EF2a	VINYL LAP SIDING 01
EF4b	VINYL BOARD & BATTEN SIDING 02
EF5	STONE 01
EF8	ACCENT TILE 01

EXTERIOR KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E5	FIBER CEMENT TRIM (COLOR TO MATCH WINDOW/DOOR FRAME)
E9	ALUMINUM STOREFRONT SYSTEMS; COLOR: DARK BRONZE
E10	COMPOSITE SHINGLES ROOF SYSTEM
E11	STANDING SEAM METAL ROOF
E13	DOWNSPOUT
E14	GUTTER
E17	STONE SILL; COLOR TO MATCH ADJACENT STONE
E19	PROPOSED METER CENTER LOCATION TO BE PAINTED COLOR OF WALL
E20	PAINTED METAL DOORS; COLOR:TBD



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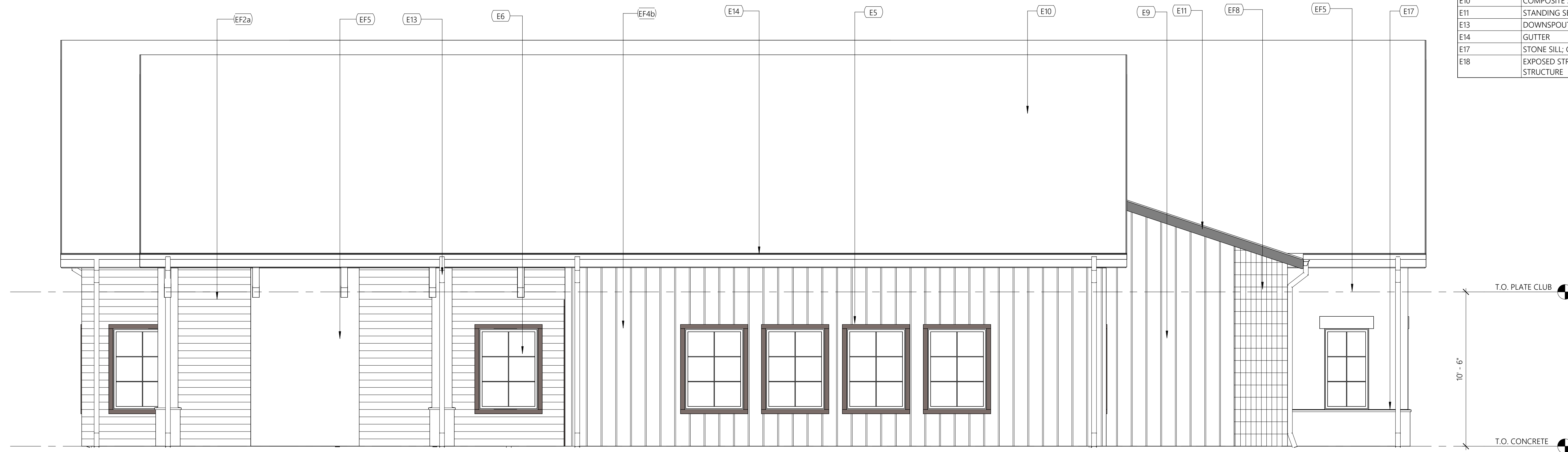
PROJECT NO: **23-34**
SHEET CONTENTS: **CLUB ELEVATION**

SCALE: 1/4" = 1'-0"
SHEET NO. **A-12**

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EXTERIOR FINISH LEGEND	
KEY VALUE	KEYNOTE TEXT
EF2a	VINYL LAP SIDING 01
EF4b	VINYL BOARD & BATTEN SIDING 02
EF5	STONE 01
EF8	ACCENT TILE 01

EXTERIOR KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E5	FIBER CEMENT TRIM (COLOR TO MATCH WINDOW/DOOR FRAME)
E6	6X6 VINYL WINDOWS; COLOR WHITE
E9	ALUMINUM STOREFRONT SYSTEMS; COLOR: DARK BRONZE
E10	COMPOSITE SHINGLES ROOF SYSTEM
E11	STANDING SEAM METAL ROOF
E13	DOWNSPOUT
E14	GUTTER
E17	STONE SILL; COLOR TO MATCH ADJACENT STONE
E18	EXPOSED STRUCTURAL TRUSSES; REFER TO STRUCTURE



2 CLUB - SIDE ELEVATION B
SCALE: 1/4" = 1'-0"



1 CLUB - BACK ELEVATION
SCALE: 1/4" = 1'-0"



ARCHITECT OF RECORD: FRED WILSON
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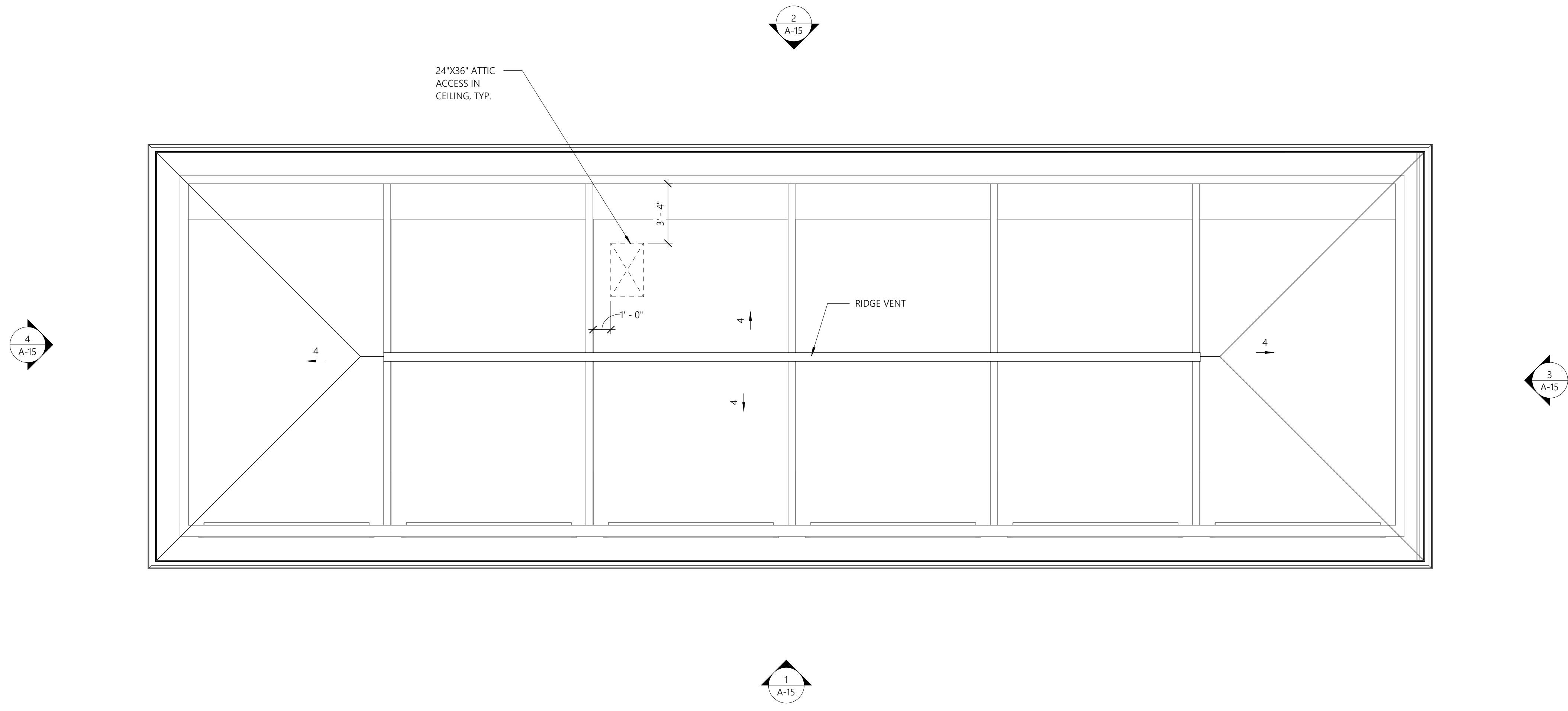
PROJECT NO: 23-34
SHEET CONTENTS: CLUB ELEVATION

SCALE: 1/4" = 1'-0"
SHEET NO.

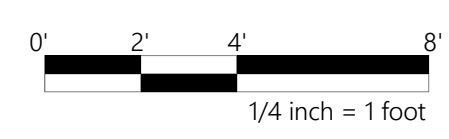
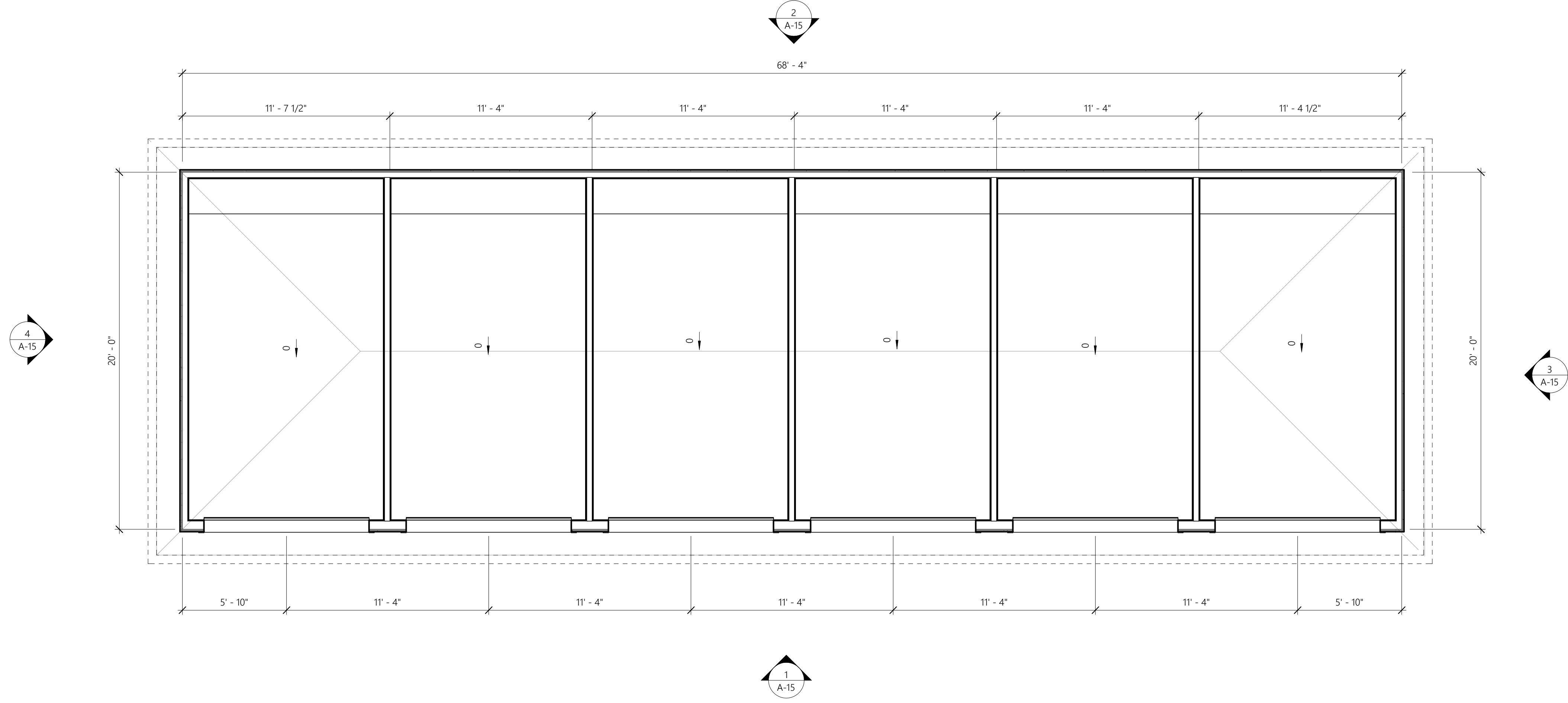
A-13

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2 ROOF PLAN - 6 CAR GARAGE
SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - 6 CAR GARAGE
SCALE: 1/4" = 1'-0"



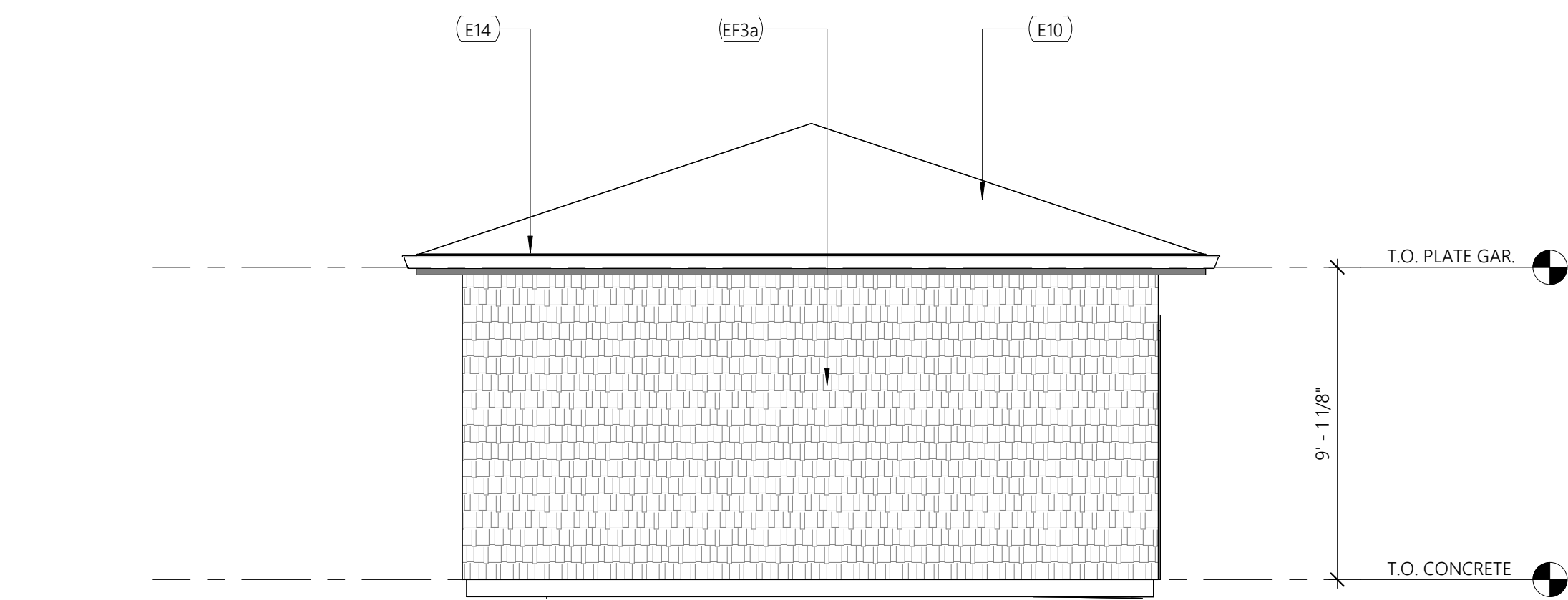
ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

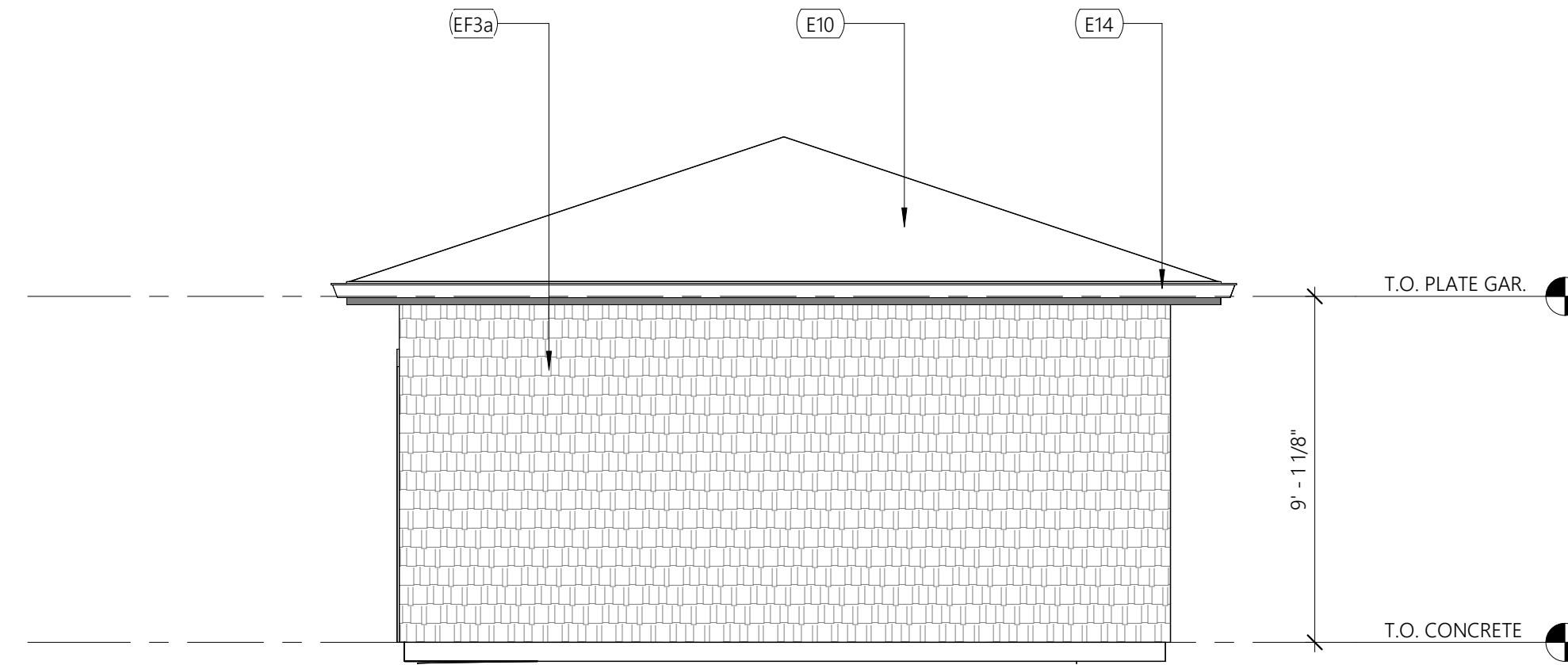
PROJECT NO: **23-34**
SHEET CONTENTS:
6 CAR GARAGE PLANS

SCALE: 1/4" = 1'-0"
SHEET NO. **A-14**

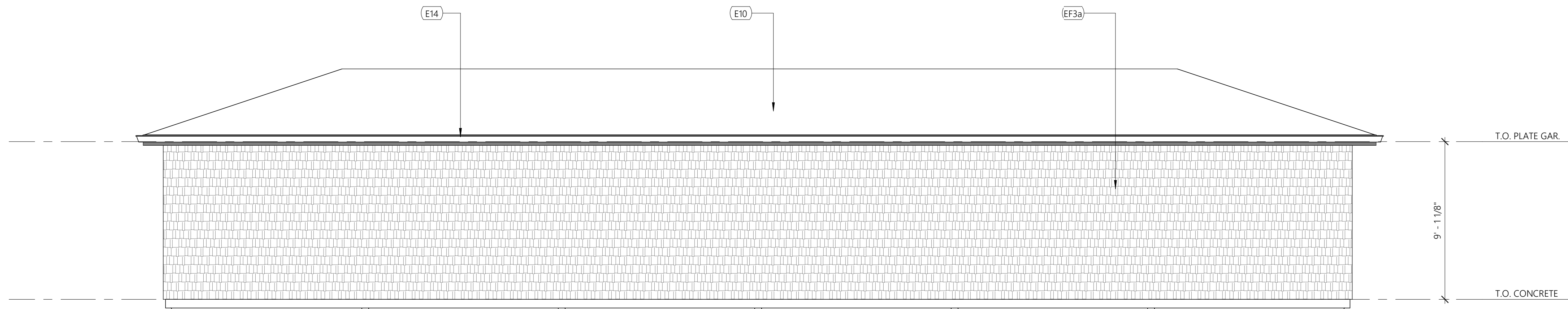
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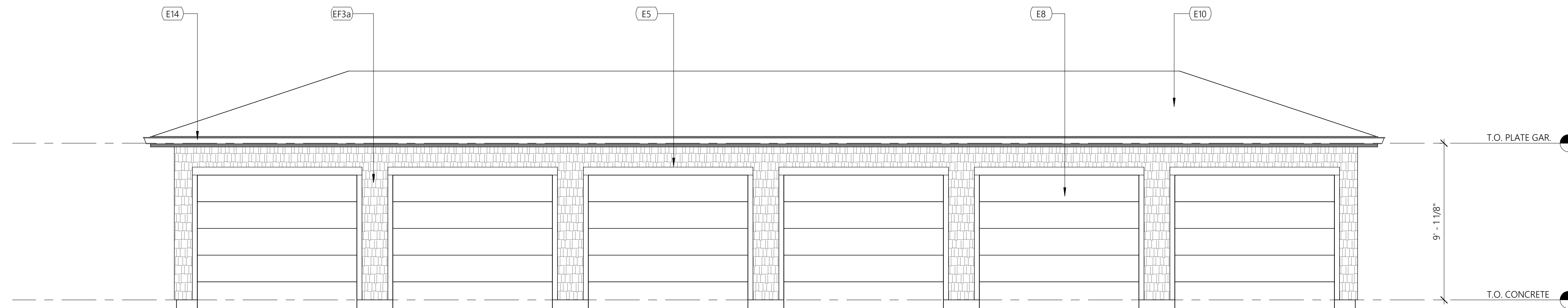
4 6 CAR GARAGE SIDE ELEVATION B
SCALE: 1/4" = 1'-0"



3 6 CAR GARAGE SIDE ELEVATION A
SCALE: 1/4" = 1'-0"



2 6 CAR GARAGE BACK ELEVATION
SCALE: 1/4" = 1'-0"



1 6 CAR GARAGE SIDE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
KEY VALUE	KEYNOTE TEXT
EF3a	VINYL CEDAR SHAKE 01

EXTERIOR KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E5	FIBER CEMENT TRIM (COLOR TO MATCH WINDOW/DOOR FRAME)
E8	ALUMINUM GARAGE DOORS, STANDARD COLOR
E10	COMPOSITE SHINGLES ROOF SYSTEM
E14	GUTTER



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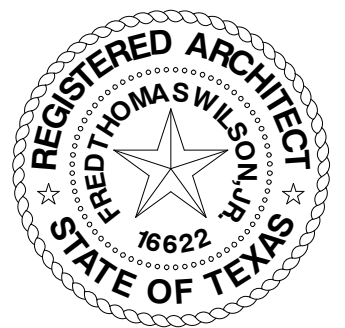
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HYANNIS PHASE II

WILKENS LANE, HYANNIS MA

THE HANOVER COMPANY

CONCEPTUAL SITE PLAN SUBMISSION - 08-02-2024



ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

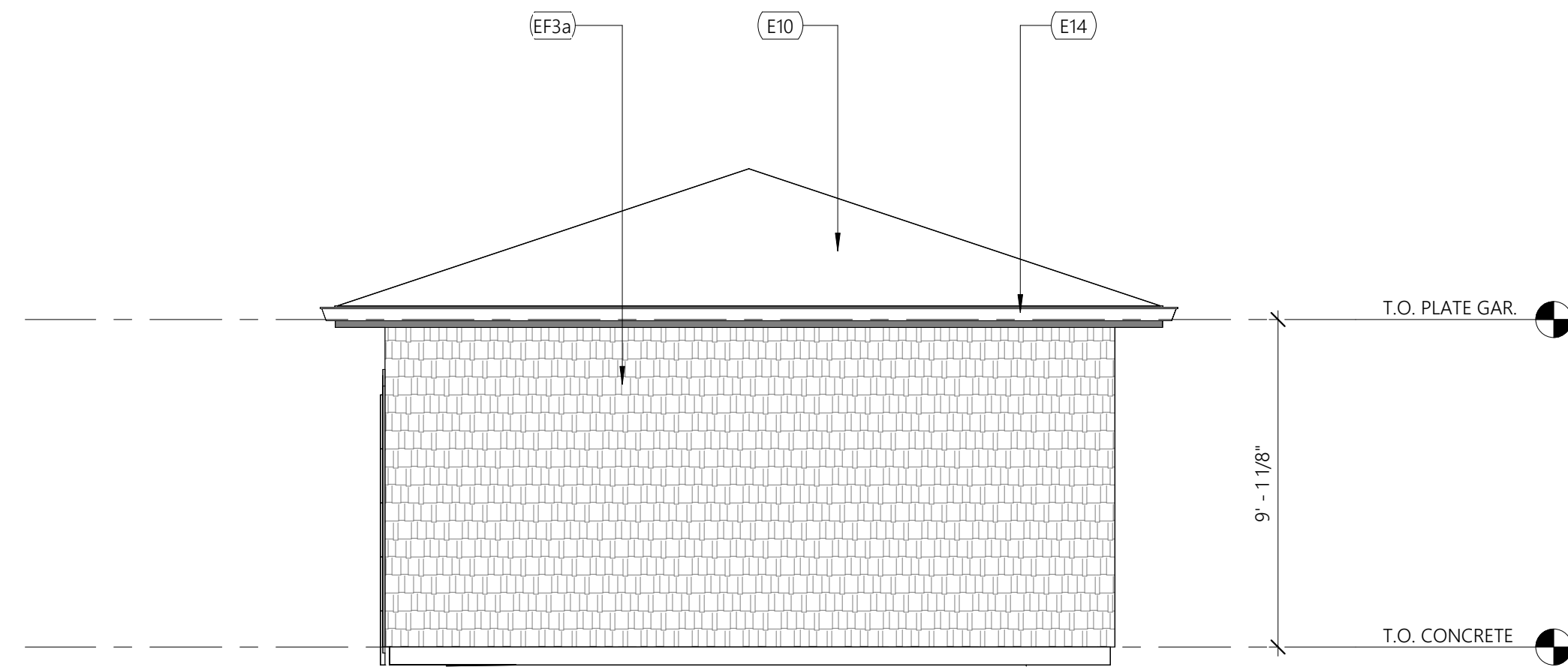
PROJECT NO: **23-34**

SHEET CONTENTS:
6 CAR GARAGE ELEVATIONS

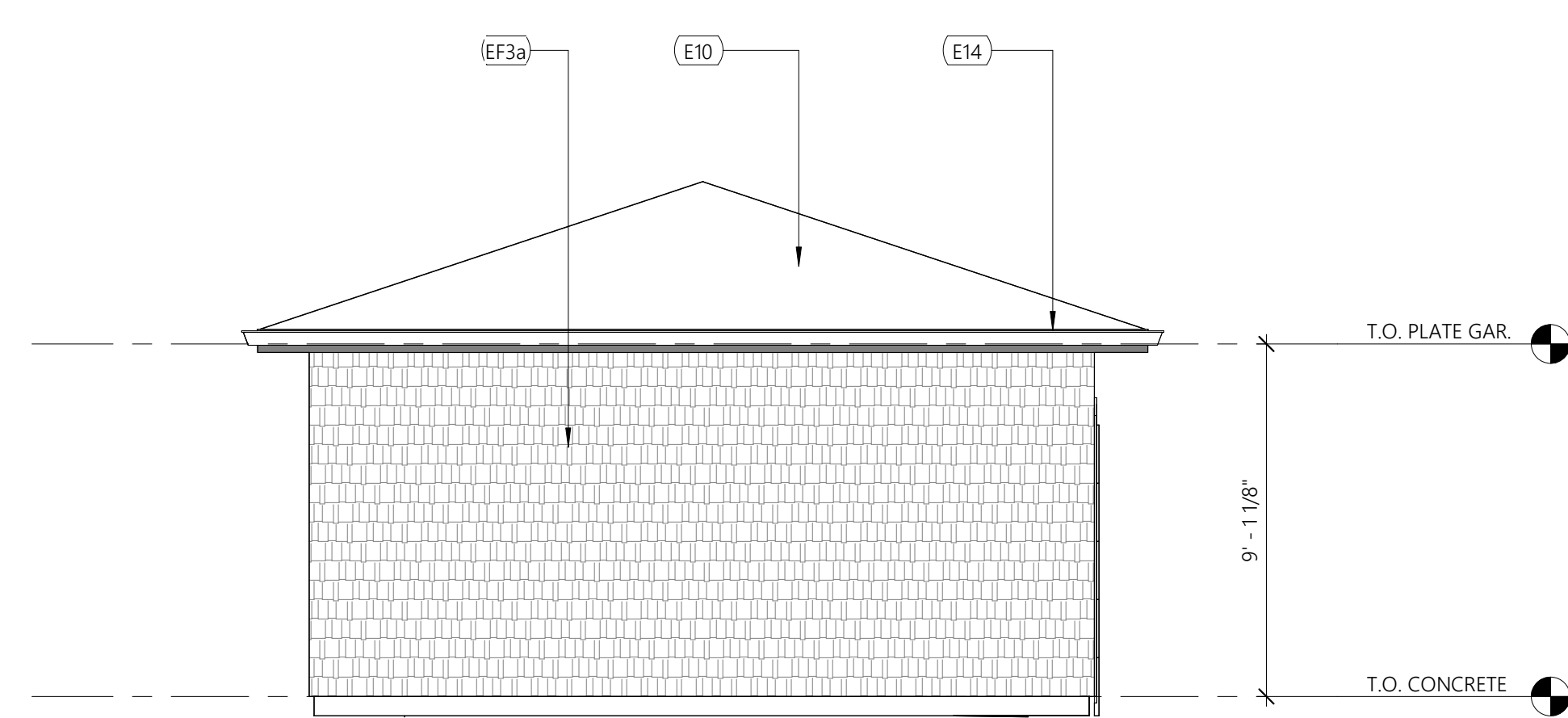
SCALE: 1/4" = 1'-0"
SHEET NO. **A-15**

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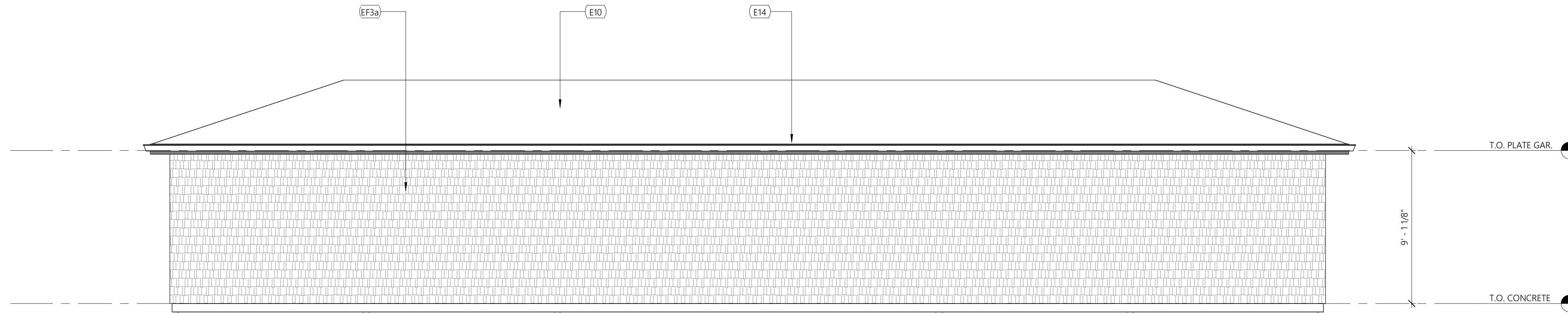
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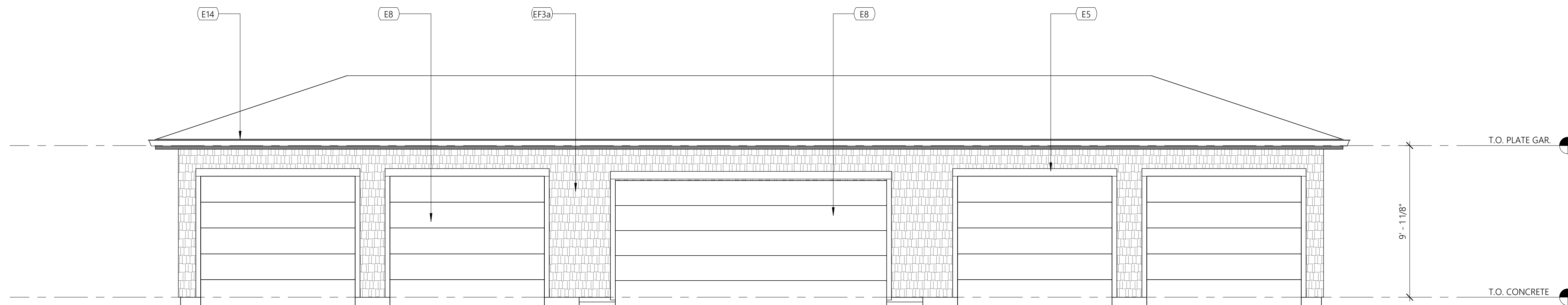
4 5 CAR GARAGE SIDE ELEVATION B
SCALE: 1/4" = 1'-0"



3 5 CAR GARAGE SIDE ELEVATION A
SCALE: 1/4" = 1'-0"



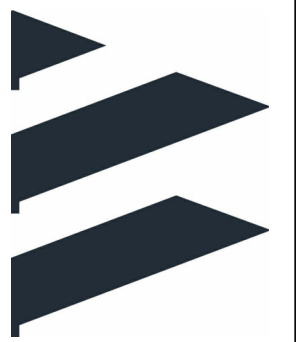
2 5 CAR GARAGE BACK ELEVATION
SCALE: 1/4" = 1'-0"



1 5 CAR GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
KEY VALUE	KEYNOTE TEXT
EF3a	VINYL CEDAR SHAKE 01

EXTERIOR KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E5	FIBER CEMENT TRIM (COLOR TO MATCH WINDOW/DOOR FRAME)
E8	ALUMINUM GARAGE DOORS, STANDARD COLOR
E10	COMPOSITE SHINGLES ROOF SYSTEM
E14	GUTTER



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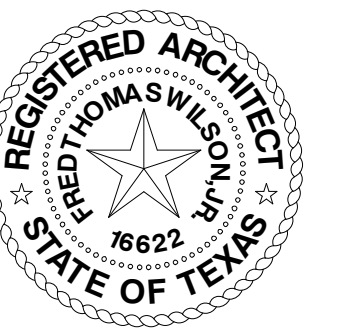
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HYANNIS PHASE II

WILKENS LANE, HYANNIS MA

THE HANOVER COMPANY

CONCEPTUAL SITE PLAN SUBMISSION - 08-02-2024



ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

PROJECT NO: **23-34**

SHEET CONTENTS:
5 CAR ACCESSIBLE GARAGE ELEVATIONS

SCALE: 1/4" = 1'-0"

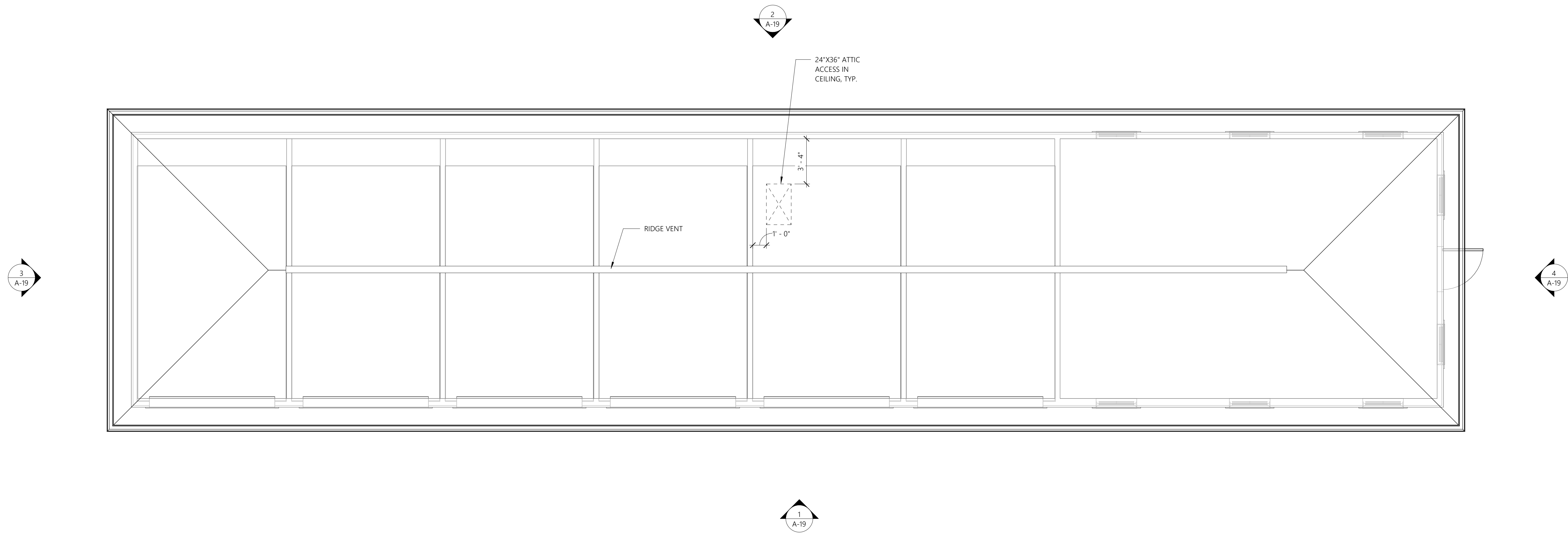
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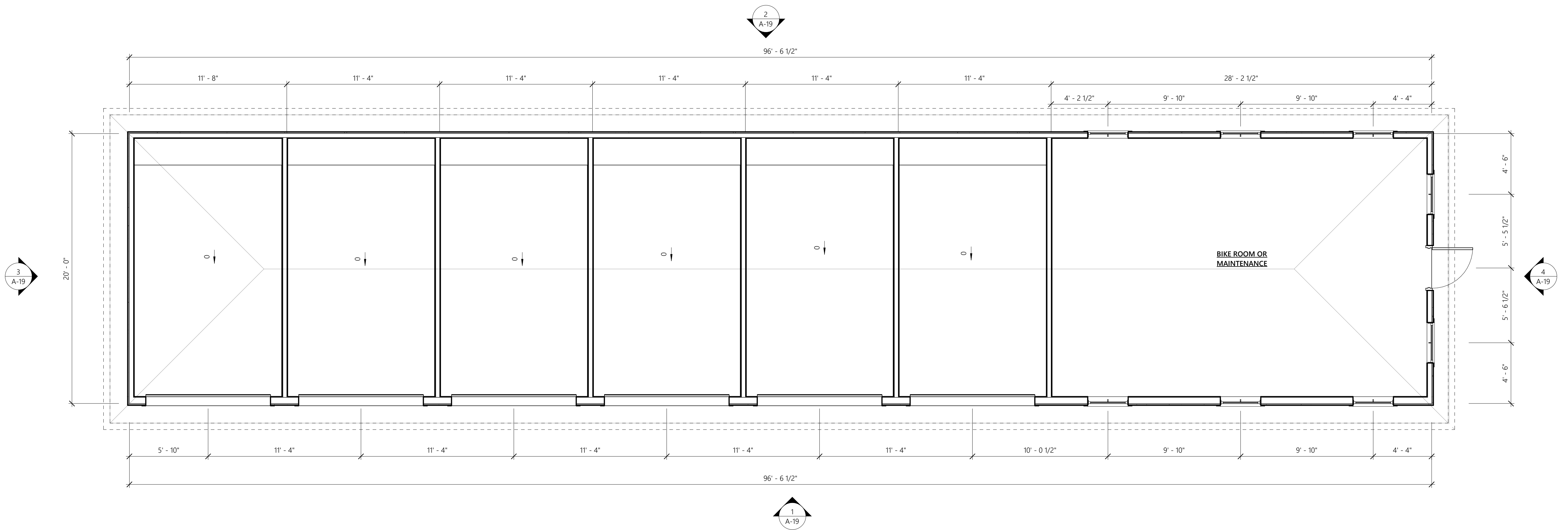
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2 ROOF PLAN - 6 CAR GARAGE + BIKE/MAINT. PLANS
SCALE: 1/4" = 1'-0"



1 ENLARGED PLAN - 6 CAR GARAGE + BIKE OR MAINTENANCE
SCALE: 1/4" = 1'-0"



0 2' 4' 8'
1/4 inch = 1 foot



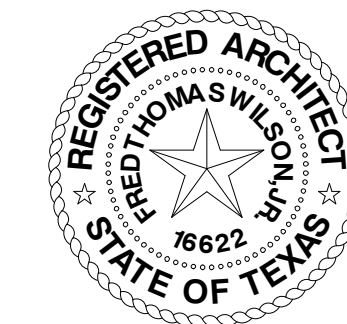
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HYANNIS PHASE II
WILKENS LANE, HYANNIS MA

THE HANOVER COMPANY

CONCEPTUAL SITE PLAN SUBMISSION - 08-02-2024



ARCHITECT OF RECORD: **FRED WILSON**
REGISTRATION NUMBER: **16622**

ISSUED: 08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

PROJECT NO: **23-34**

SHEET CONTENTS:
6 CAR GARAGE + BIKE/MAINT. PLANS

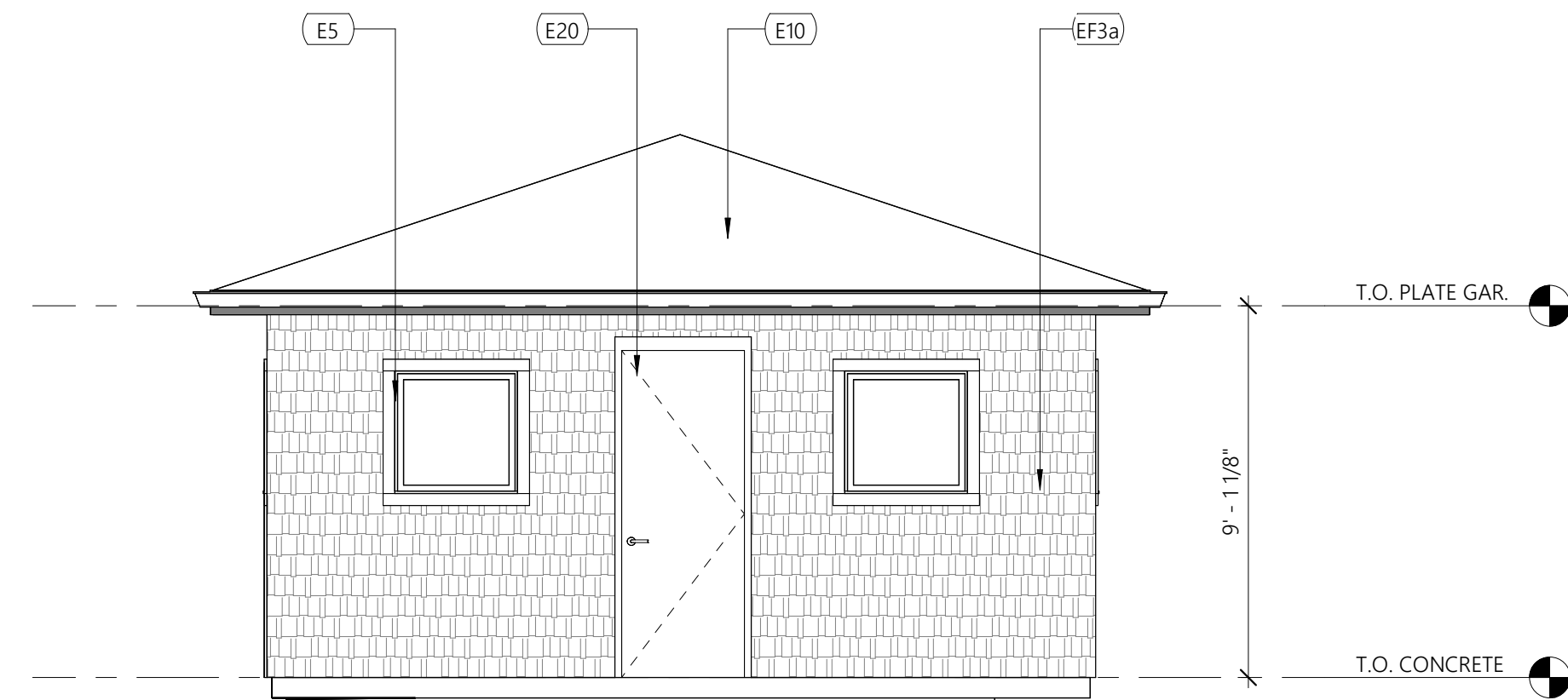
SCALE: 1/4" = 1'-0"

SHEET NO.

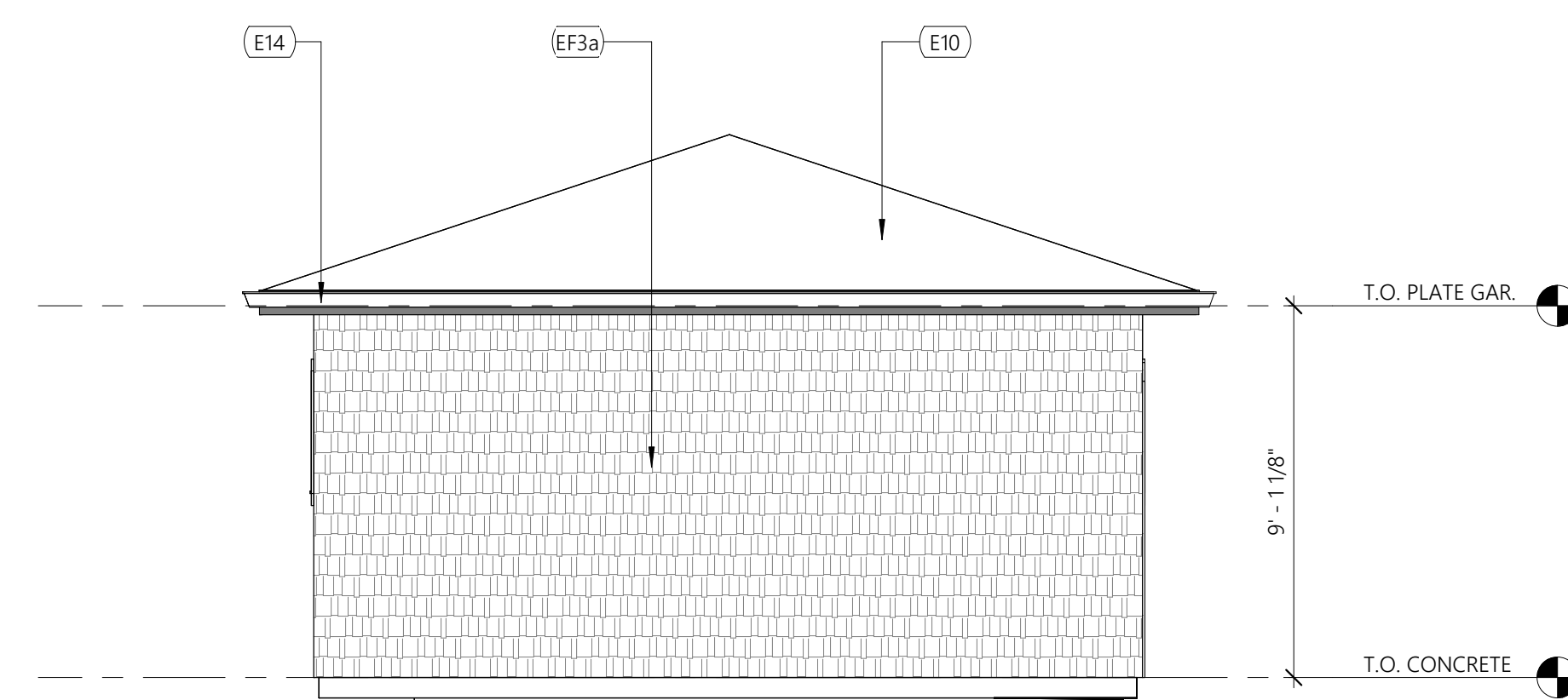
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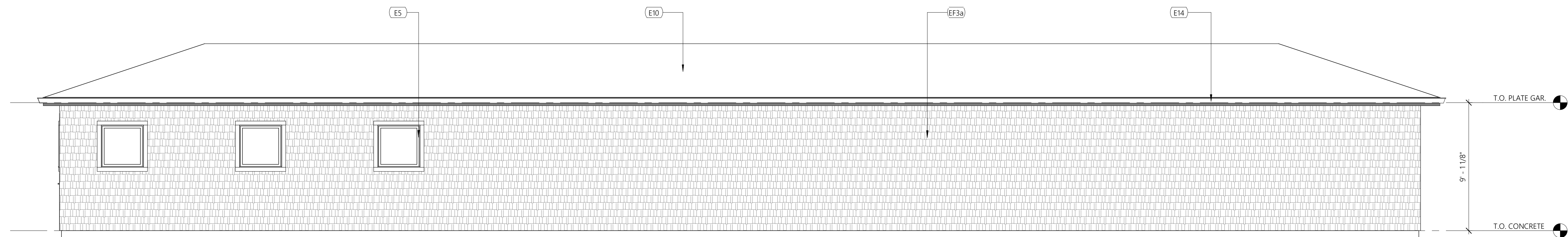
4 6 CAR GARAGE + BIKE/MAINT. SIDE ELEVATION B
SCALE: 1/4" = 1'-0"



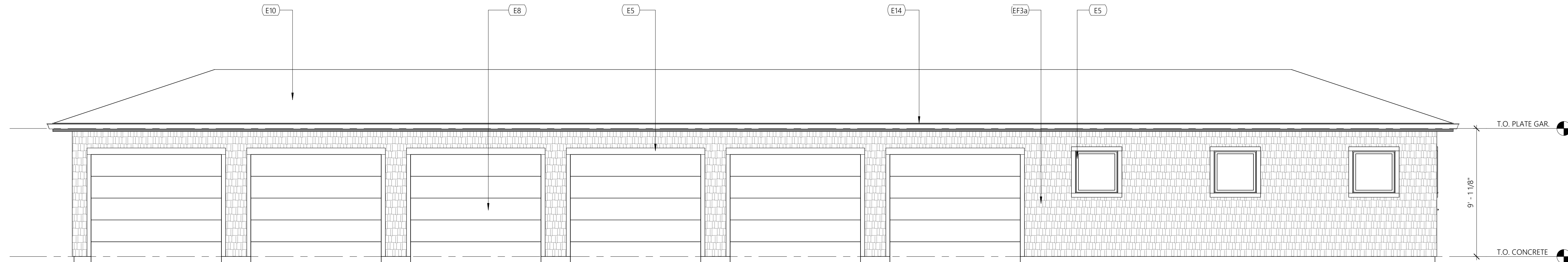
3 6 CAR GARAGE + BIKE/MAINT. SIDE ELEVATION A
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND	
KEY VALUE	KEYNOTE TEXT
EF3a	VINYL CEDAR SHAKE 01

EXTERIOR KEYNOTE LEGEND	
KEY VALUE	KEYNOTE TEXT
E5	FIBER CEMENT TRIM (COLOR TO MATCH WINDOW/DOOR FRAME)
E8	ALUMINUM GARAGE DOORS; STANDARD COLOR
E10	COMPOSITE SHINGLES ROOF SYSTEM
E14	GUTTER
E20	PAINTED METAL DOORS; COLOR:TBD



2 6 CAR GARAGE + BIKE/MAINT. BACK ELEVATION
SCALE: 1/4" = 1'-0"



1 6 CAR GARAGE + BIKE/MAINT. FRONT ELEVATION
SCALE: 1/4" = 1'-0"



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HYANNIS PHASE II

WILKENS LANE, HYANNIS MA

THE HANOVER COMPANY

CONCEPTUAL SITE PLAN SUBMISSION - 08-02-2024



ARCHITECT OF RECORD:
FRED WILSON

REGISTRATION NUMBER:
16622

ISSUED:
08/02/24 - CONCEPTUAL SITE PLAN SUBMISSION

PROJECT NO: **23-34**

SHEET CONTENTS:
6 CAR GARAGE + BIKE/MAINT. ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NO.

A-19

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CONCEPTUAL SITE PLANS HANOVER HYANNIS II

100 Nickerson Road
Marlborough, MA 01752
Phone: 508-786-2200 Fax: 508-786-2201



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CIVIL ENGINEERING:
TETRA TECH
100 Nickerson Road
Marlborough, MA 01752

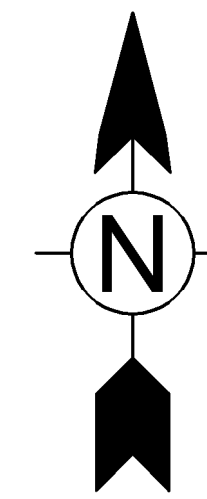


APPLICANT:
HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT



AERIAL MAP
SCALE: 1" = 150'



NOTES:

1. THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION."
2. EXISTING CONDITIONS PROVIDED BY DIPRETE ENGINEERING AS DEPICTED ON THE PLAN ENTITLED "TOPOGRAPHIC SURVEY, 35 WILKENS LANE, HYANNIS, MA" DATED JANUARY 16, 2020.

EXISTING	LEGEND	PROPOSED
210X23	SPOT GRADE	211X50
-210-	CONTOUR	210
WF 20	WETLAND LINE	
CB	WETLAND FLAG	
SB	CONCRETE BOUND	
DH	STONE BOUND	
LP	DRILL HOLE	
X & Y	LIGHT POLE	
	UTILITY POLE	
	WATER VALVE	
	DRAIN LINE	
	SEWER LINE	
	SEWER FORCE MAIN	
	GAS LINE	
	UNDERGROUND ELECTRIC	
	UNDERGROUND TELEPHONE	
	UNDERGROUND ELECTRIC/TELEPHONE/DATA	
	WATER LINE	
	OVERHEAD WIRES	
	COMPOST FILER SOCK	
	CONSTRUCTION FENCE	
	CATCH BASIN	
	DOUBLE CATCH BASIN	
	FLARED END OUTLET	
	DRAIN MANHOLE	
	SEWER MANHOLE	
	ELECTRIC MANHOLE	
	TELEPHONE MANHOLE	
	HYDRANT	
	GAS GATE	
	BOLLARD	
	CAPE COD BERM	
	BITUMINUS CONCRETE CURB	
	CONCRETE CURB	
	VERTICAL GRANITE CURB	
	SLOPED GRANITE CURB	
	SIGN	
	TRANSFORMER	

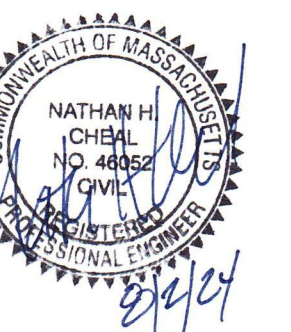
CIVIL

C-0	COVER SHEET
	TOPOGRAPHIC SURVEY (DIPRETE ENGINEERING)
C-1	INDEX SHEET
C-2 - C-7	EXISTING CONDITIONS PLANS
C-8 - C-12	SITE LAYOUT PLANS
C-13 - C-17	GRADING AND DRAINAGE PLANS
C-18 - C-23	UTILITY PLANS
C-24 - C-29	EROSION & SEDIMENT CONTROL PLANS
C-30 - C-36	DETAIL SHEETS

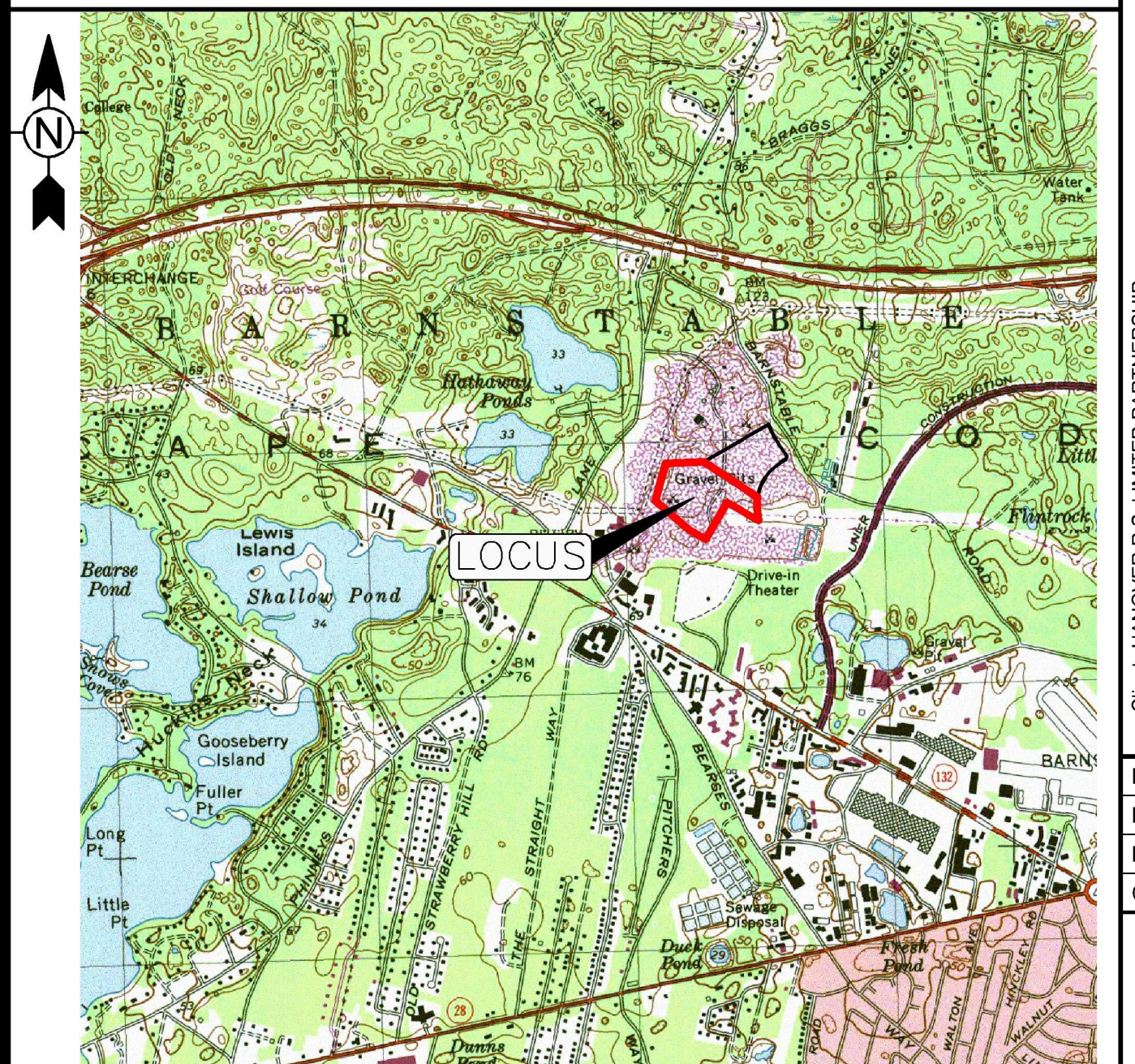
DRAWING LIST

LANDSCAPE	ARCHITECTURAL
L1.00	SHEET 01 RENDER 01
L1.01 - L1.06	SHEET 02 RENDER 02
L1.AR	SHEET 03 BUILDING T01 PLANS
L1.SP	SHEET 04 BUILDING T01 ELEVATIONS
L2.00	SHEET 05 BUILDING T01 ROOF PLAN
L3.00	SHEET 06 BUILDING T02 PLANS
	SHEET 07 BUILDING T02 ELEVATIONS
	SHEET 08 BUILDING T02 ROOF PLAN
	SHEET 09 ROOF/BLDG CONCEPTUAL SECTIONS
	SHEET 10 TYPICAL UNIT PLANS
L3.01	SHEET 11 CLUB PLAN
L4.10 - L4.11	SHEET 12 CLUB ELEVATIONS
L4.20	SHEET 13 CLUB ELEVATIONS
L4.21	SHEET 14 6 CAR GARAGE PLANS
L4.22	SHEET 15 6 CAR GARAGE ELEVATIONS
L4.23	SHEET 16 5 CAR GARAGE PLANS
L4.30	SHEET 17 5 CAR GARAGE ELEVATIONS
L6.00	SHEET 18 6 CAR GARAGE + BIKE/MAINT. PLANS
L6.01 - L6.06	SHEET 19 6 CAR GARAGE + BIKE/MAINT. ELEVATIONS

ISSUED:
AUGUST 2, 2024 CONCEPTUAL SITE PLANS



USGS MAP:
SCALE: 2000'



Client: HANOVER R.S. LIMITED PARTNERSHIP
Proj. Loc.: Wilkens Lane, Hyannis, MA

Project No.: 143-28700-23001
Designed By: N.C.
Drawn By: J.L.P.
Checked By: N.C.

C-0

General Notes

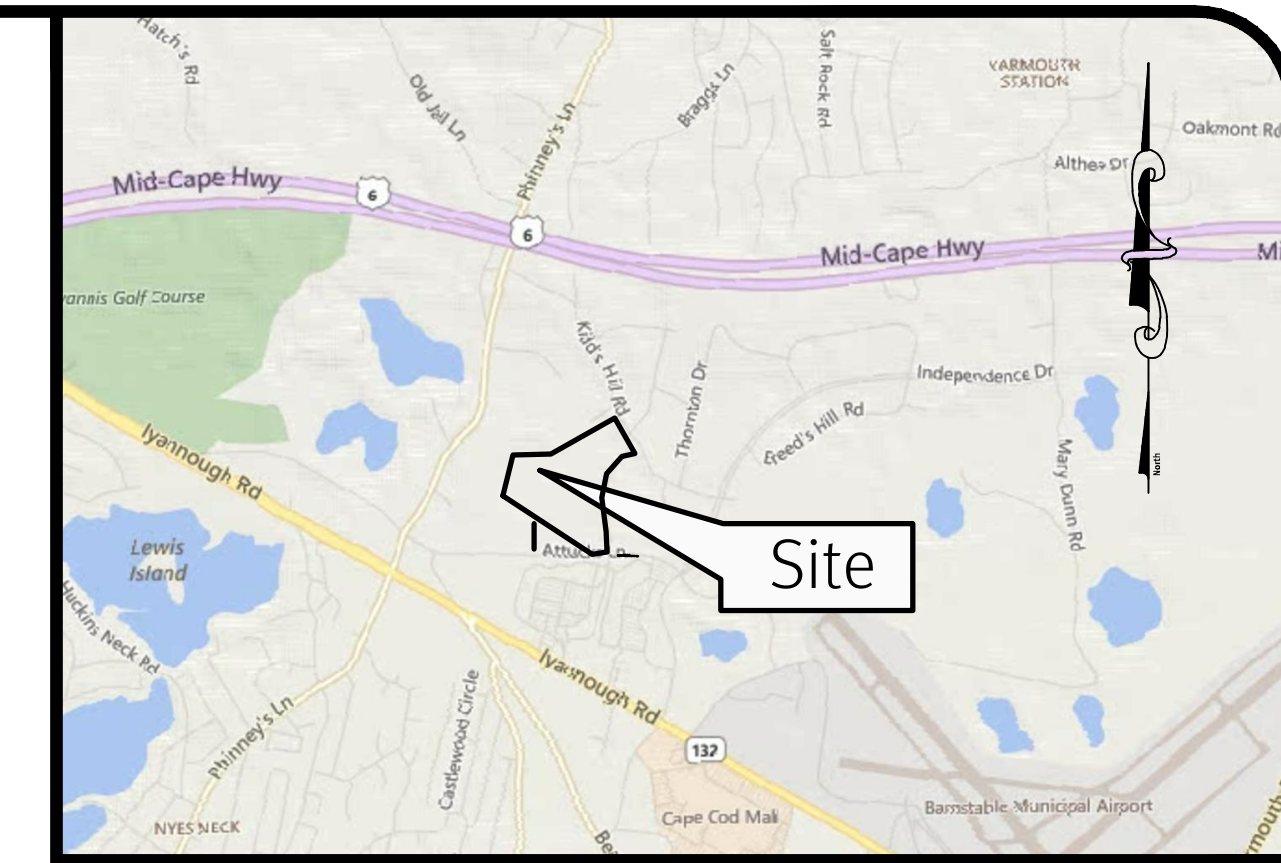
- THE PARCELS ARE FOUND ON ASSESSOR'S MAP 295, BLOCK 4, LOT 1 & ASSESSOR'S MAP 296, LOT 39 IN THE TOWN OF BARNSTABLE, BARNSTABLE COUNTY, MASSACHUSETTS.
- THE OWNER PER DEED BOOK 18163, PAGE 147 IS CAPE COD HOSPITAL.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 2501C05664, DATED JULY, 16 2014. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED RG, B & IND BASED ON TOWN OF BARNSTABLE GIS PROPERTY MAPS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON NOVEMBER 30, 2018. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.

Plan References:

- PLAN OF LAND PREPARED FOR CAPE COD AGGREGATES CORP. IN BARNSTABLE, HYANNIS, MA. SCALE 1"=100'. DATED JUNE 19, 2003. PLAN BY HOLMES AND MCGRATH, INC.
- SUBDIVISION PLAN OF LAND IN BARNSTABLE, HYANNIS, MA. SCALE 1"=200'. DATED OCTOBER 21, 1974. PLAN BY EDWARD E. KELLEY, SURVEYOR.
- PLAN OF LAND IN BARNSTABLE, HYANNIS, MA. SCALE 1"=400'. DATED AUGUST 7, 1991. PLAN BY DOYLE ENGINEERING ASSOCIATES, INC., SURVEYORS.
- PLAN OF LAND LOCATED IN BARNSTABLE MA. SCALE 1"=120'. DATED JULY 2, 2003. PLAN BY DOWN CAPE ENGINEERING, INC.
- SUBDIVISION PLAN OF LAND IN BARNSTABLE - MASS FOR PARK LANDS PROPERTIES INC. SCALE 1"=40'. DATED AUGUST 24, 1974. PLAN BY JOHN P. DOYLE, R.L.S.
- TOWN OF BARNSTABLE PLAN SHOWING LAYOUT OF ATTUCKS LANE EXTENSION AS LAID OUT BY THE TOWN MANAGER ACTING UNDER CHAPTER II, ARTICLE VIII, SECTION 2 GENERAL ORDINANCES, BARNSTABLE, MA, SHEET 2 AND 3 OF 3. SCALE 1"=40'. DATED SEPTEMBER 18, 1997. PLAN BY PAUL A. LEVY.

Utility Notes

- ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
- UNDERGROUND WATER, SEWER, GAS, ELECTRIC AND DRAINAGE INFORMATION OBTAINED FROM AS-BUILT ROADWAY PLAN AND PROFILE, WILKENS LANE AS-BUILT, HYANNIS, MA 02601, PLAN BY BAXRER, NTV ENGINEERING AND SURVEY, DATED MAY 22, 2015.

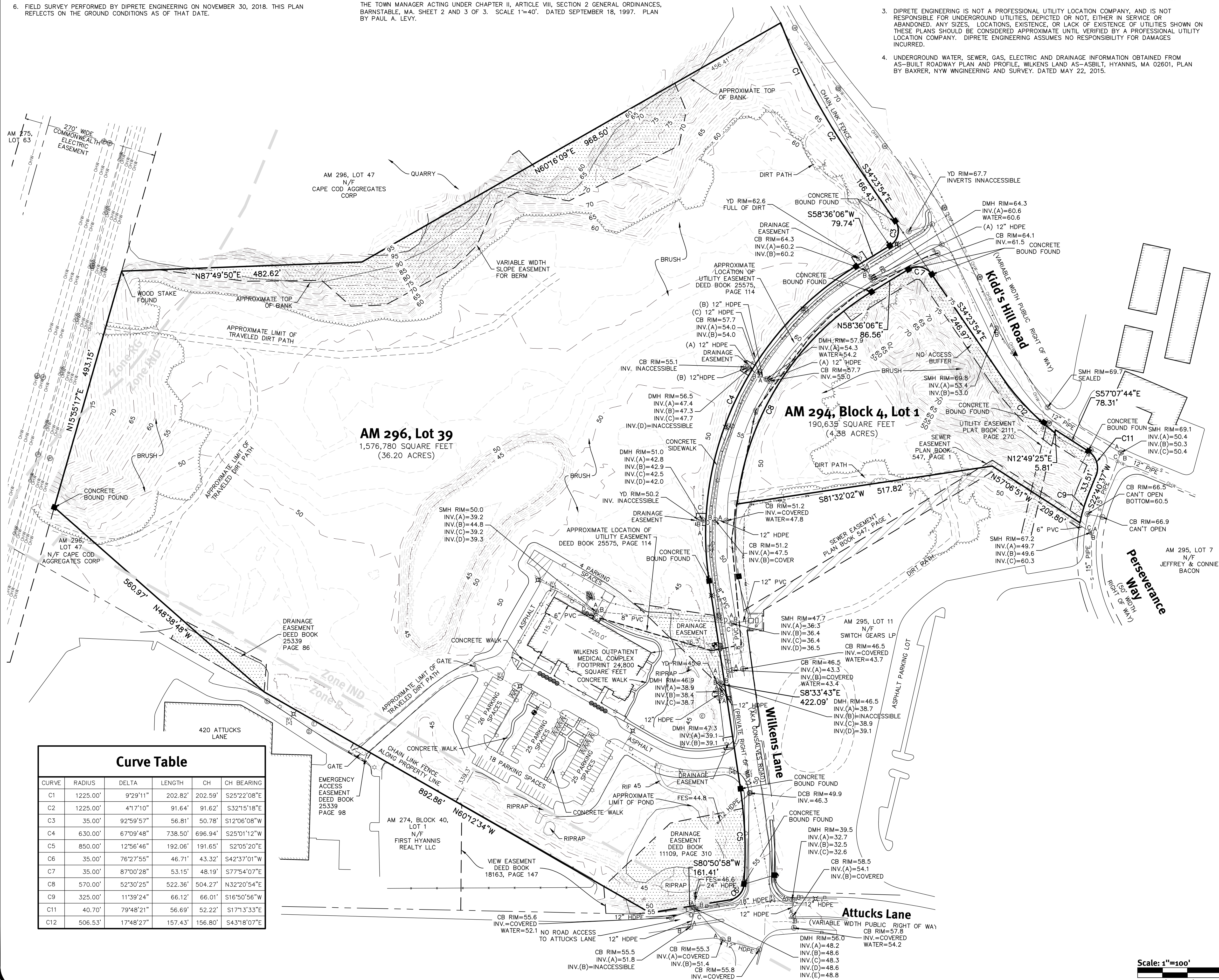


Locus Map Not To Scale

Legend

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	ASSESSOR'S PLAT	NAIL FOUND/SET
AP	NOW OR FORMERLY	DRILL HOLE FOUND/SET
N/F	DEED	IRON ROD/PIPE FOUND/SET
(D)	MEASURED	BOUND FOUND/SET
(M)	CHORD ANGLE	SIGN
(CA)	HANDICAPPED	BOLLARD
HC	PROPERTY LINE	SOIL EVALUATION
	ASSESSORS LINE	CATCH BASIN
	TREELINE	DMH
	GUARDRAIL	FES
	FENCE	EMH
	RETAINING WALL	UP
	STONE WALL	SMH
	MINOR CONTOUR LINE	SEWER VALVE
	MAJOR CONTOUR LINE	CLEANOUT
	WATER LINE	HYDRANT
	SEWER LINE	IRRIGATION VALVE
	SEWER FORCE MAIN	WATER VALVE
	GAS LINE	WELL
	ELECTRIC LINE	MONITORING WELL
	OVERHEAD WIRES	UNKNOWN MANHOLE
	DRAINAGE LINE	GAS VALVE
		WETLAND FLAG
		BENCH MARK
		SHRUB
		TREE



Curve Table

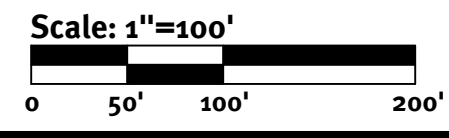
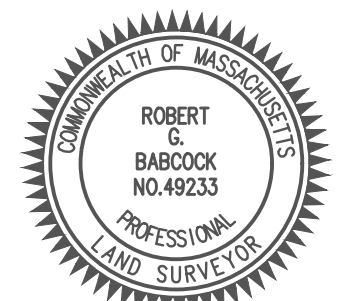
CURVE	RADIUS	DELTA	LENGTH	CH	CH BEARING
C1	1225.00'	9°29'11"	202.82'	202.59'	S25°22'08"E
C2	1225.00'	41°17'10"	91.64'	91.62'	S32°15'18"E
C3	35.00'	92°59'57"	56.81'	50.78'	S12°06'08"W
C4	630.00'	67°09'48"	738.50'	696.94'	S25°01'12"W
C5	850.00'	12°56'46"	192.06'	191.65'	S2°05'20"E
C6	35.00'	76°27'55"	46.71'	43.32'	S42°37'01"W
C7	35.00'	87°00'28"	53.15'	48.19'	S77°54'07"E
C8	570.00'	52°30'25"	522.36'	504.27'	N32°20'54"E
C9	325.00'	11°39'24"	66.12'	66.01'	S16°50'56"W
C11	40.70'	79°48'21"	56.69'	52.22'	S171°3'33"E
C12	506.53'	17°48'27"	157.43'	156.80'	S43°18'07"E

Surveyor's Certificate

I CERTIFY THAT THIS ACTUAL SURVEY WAS MADE ON THE GROUND IN ACCORDANCE WITH THE RULES AND REGULATIONS AS STATED IN CMR 250 SECTION 6.00.

Robert G. Babcock
ROBERT G. BABCOCK, PLS #49233

1/16/20
DATE



Diprete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-641-6006 www.diprete-eng.com

Boston • Providence • Newport

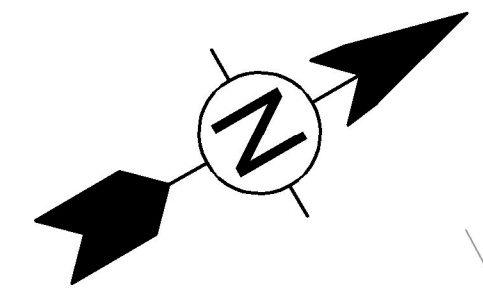
Topographic Survey
35 Wilkens Lane
Hyannis, Massachusetts

New England Development
75 Park Plaza
Boston, Massachusetts 02116

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SHEET 1 OF 1

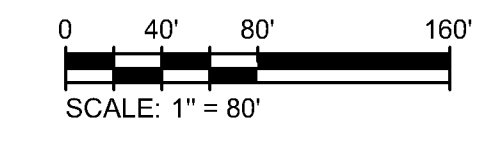
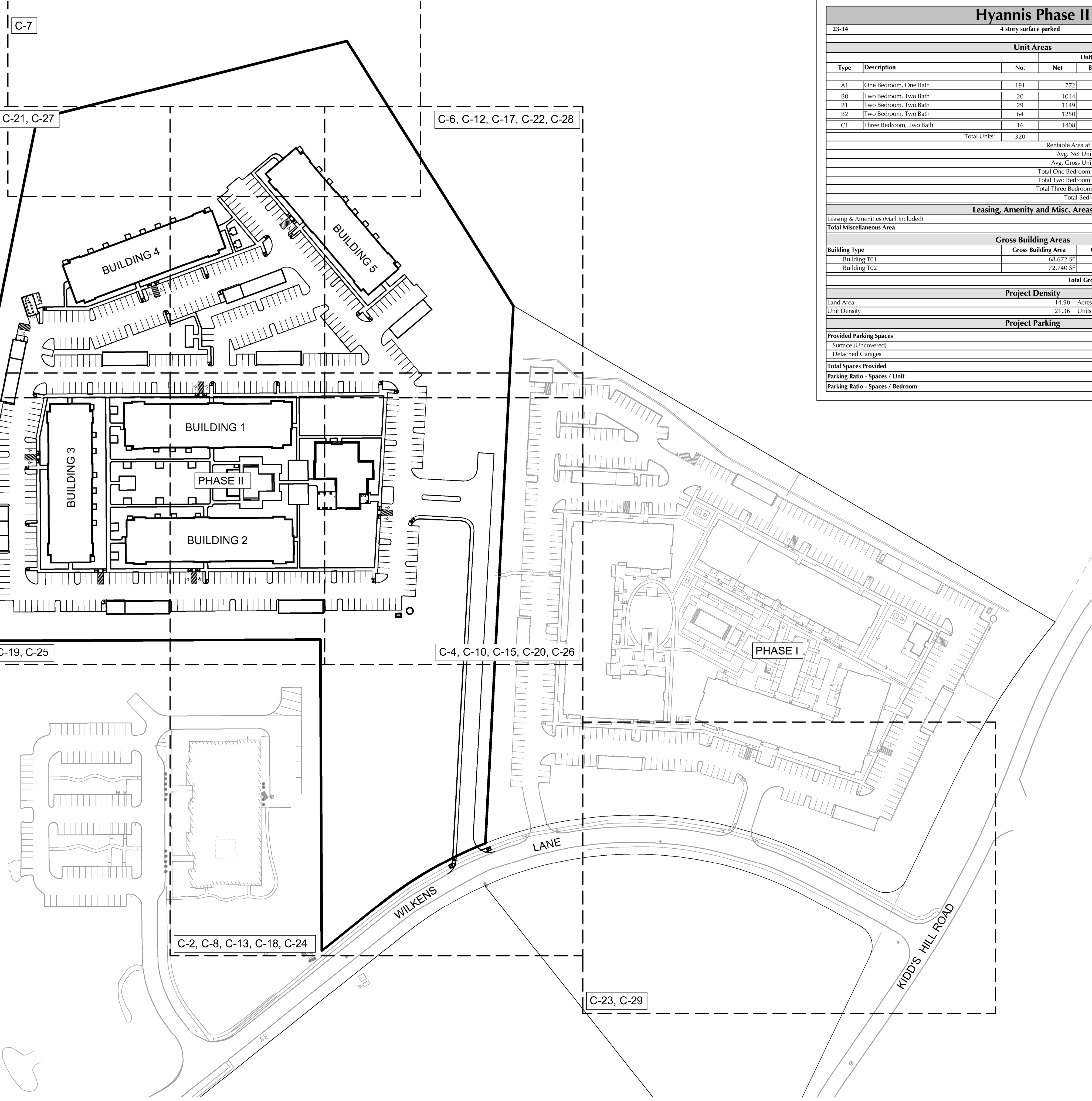
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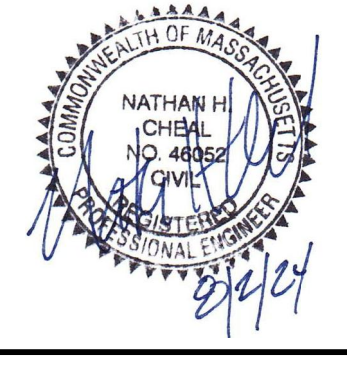
Hyannis Phase II							
23-34		4 story surface parked		Version 09rev - 2024-08-02			
Unit Areas							
Type	Description	No.	Unit Areas			Total Areas	
			Net	Balc.	Gross	Net	Gross
A1	One Bedroom, One Bath	191	772	0	772	147,452	147,452
B0	Two Bedroom, Two Bath	20	1,014	0	1,014	20,280	20,280
B1	Two Bedroom, Two Bath	29	1,149	0	1,149	33,321	33,321
B2	Two Bedroom, Two Bath	64	1,250	0	1,250	80,000	80,000
C1	Three Bedroom, Two Bath	16	1,408	0	1,408	22,528	22,528
Total Units:		320				303,581	303,581
Rentable Area at Units:						303,581	303,581
Avg. Net Unit Size:						949	Avg. Net Unit Size / Type
Avg. Gross Unit Size:						949	
Total One Bedroom Units:						191	59.7%
Total Two Bedroom Units:						113	35.3%
Total Three Bedroom Units:						16	5.0%
Total Bedrooms:						463	
Leasing, Amenity and Misc. Areas							
Leasing & Amenities (Mail Included)							6,430 SF
Total Miscellaneous Area							6,430 SF
Gross Building Areas							
Building Type	Gross Building Area	Quantity On Site	Total Area per Bldg Type				
Building T01	68,672 SF	3	206,016 SF				
Building T02	72,740 SF	2	145,480 SF				
Total Gross Construction Area			351,496 SF				
Project Density							
Land Area	14.98 Acres						
Unit Density	21.36 Units Per Acre						
Project Parking							
Provided Parking Spaces							
Surface (Uncovered)							432
Detached Garages							46
Total Spaces Provided							478 Spaces
Parking Ratio - Spaces / Unit							1.49 Spaces/Unit
Parking Ratio - Spaces / Bedroom							1.03 Spaces/Br

ZONING SUMMARY		
Mix-Use Sub Zone within the Medical Services Overlay District	Requirement	PROPOSED
MINIMUM LOT AREA (SF)	90,000 SF OR 1,500 SF/UNIT	652,497 SF OR 2,039 SF/UNIT
MINIMUM LOT FRONTAGE (FT)	50 FT	56.1 FT
MINIMUM FRONT YARD SETBACK (FT)	60 FT	30 FT
MINIMUM SIDE AND REAR YARD SETBACK (FT)	30 FT	31 FT
MAXIMUM BUILDING HEIGHT (FT) ¹	35 FT	Less than 55 FT
MAXIMUM FLOOR AREA RATIO	0.75	0.569
MAXIMUM LOT COVERAGE	25%	16.2%
MAXIMUM IMPERVIOUS COVERAGE	50%	47.5%
PERIMETER GREEN SPACE	20 FT	30 FT MIN.

PARKING SUMMARY		
		TOTAL
PARKING REQUIREMENT	1.3 SPACE PER UNIT = 416 +1 GUEST SPACE PER 10 UNITS = 32	448 SPACES
PARKING PROVIDED	SURFACE PARKING = 432 GARAGE PARKING = 46	478 SPACES
ACCESSIBLE PARKING REQUIRED	9 SPACES (2 VAN)	
ACCESSIBLE PARKING PROVIDED	15 SPACES (INCLUDING 2 GARAGE) ALL SURFACE SPACES ARE VAN ACCESSIBLE	



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SEE SHEET C-12
APPLICANT: HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210
ZONING CLASSIFICATION: MIXED-USE SUBZONE OF THE MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA
Conceptual Site Plans
Hanover Hyannis II
Index Sheet

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

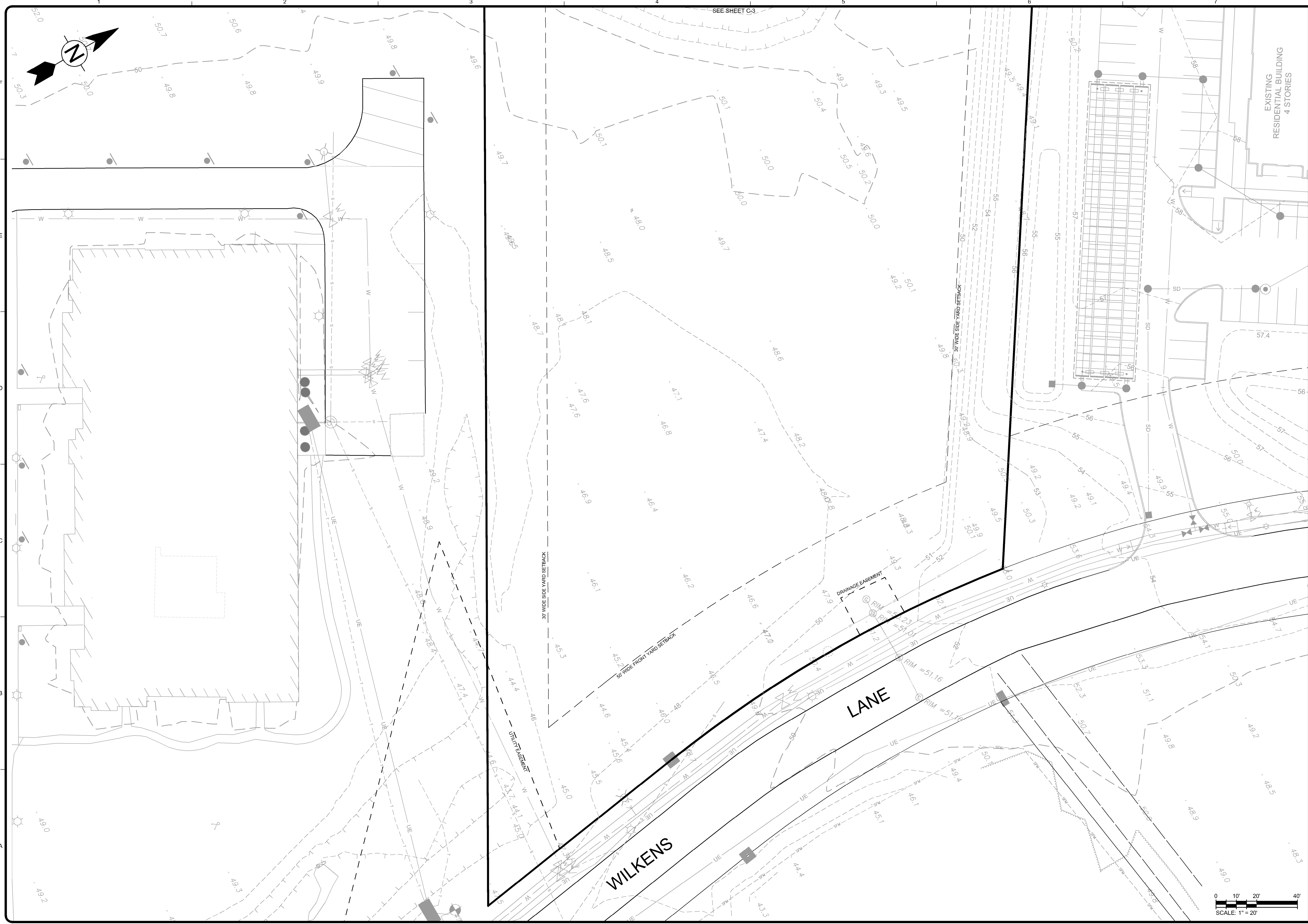
C-1

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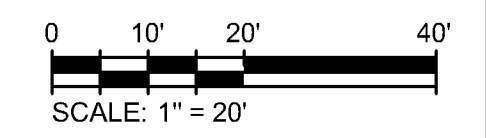
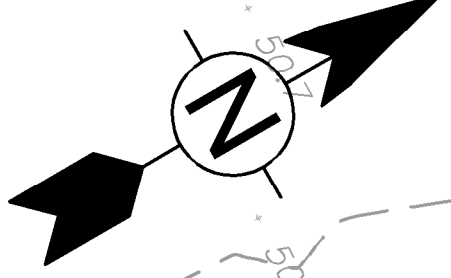
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1 MARINA PARK DRIVE
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BOSTON, MA 02210

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MARK	DATE	DESCRIPTION
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Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

Conceptual Site Plans
Hanover Hyannis II

Existing Conditions Plan

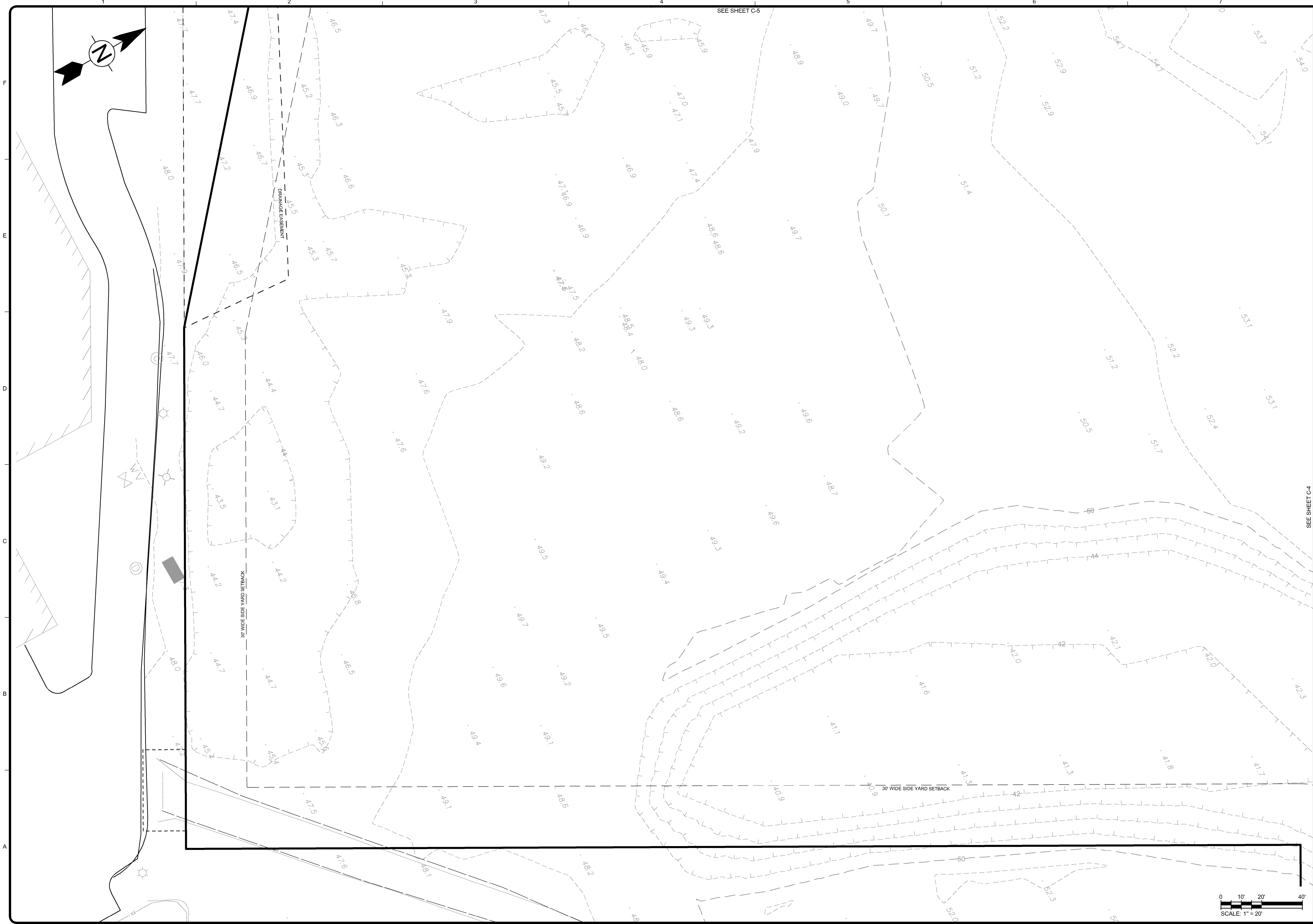
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Drawn By:	J.L.P.
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C-2

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SEE SHEET C-4

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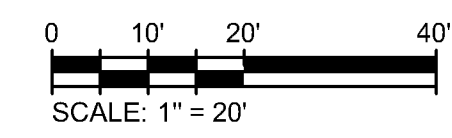
Conceptual Site Plans
Hanover Hyannis II

Existing Conditions Plan

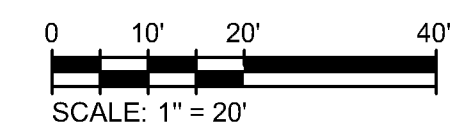
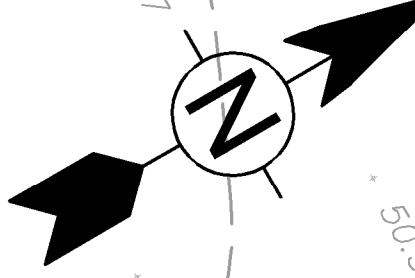
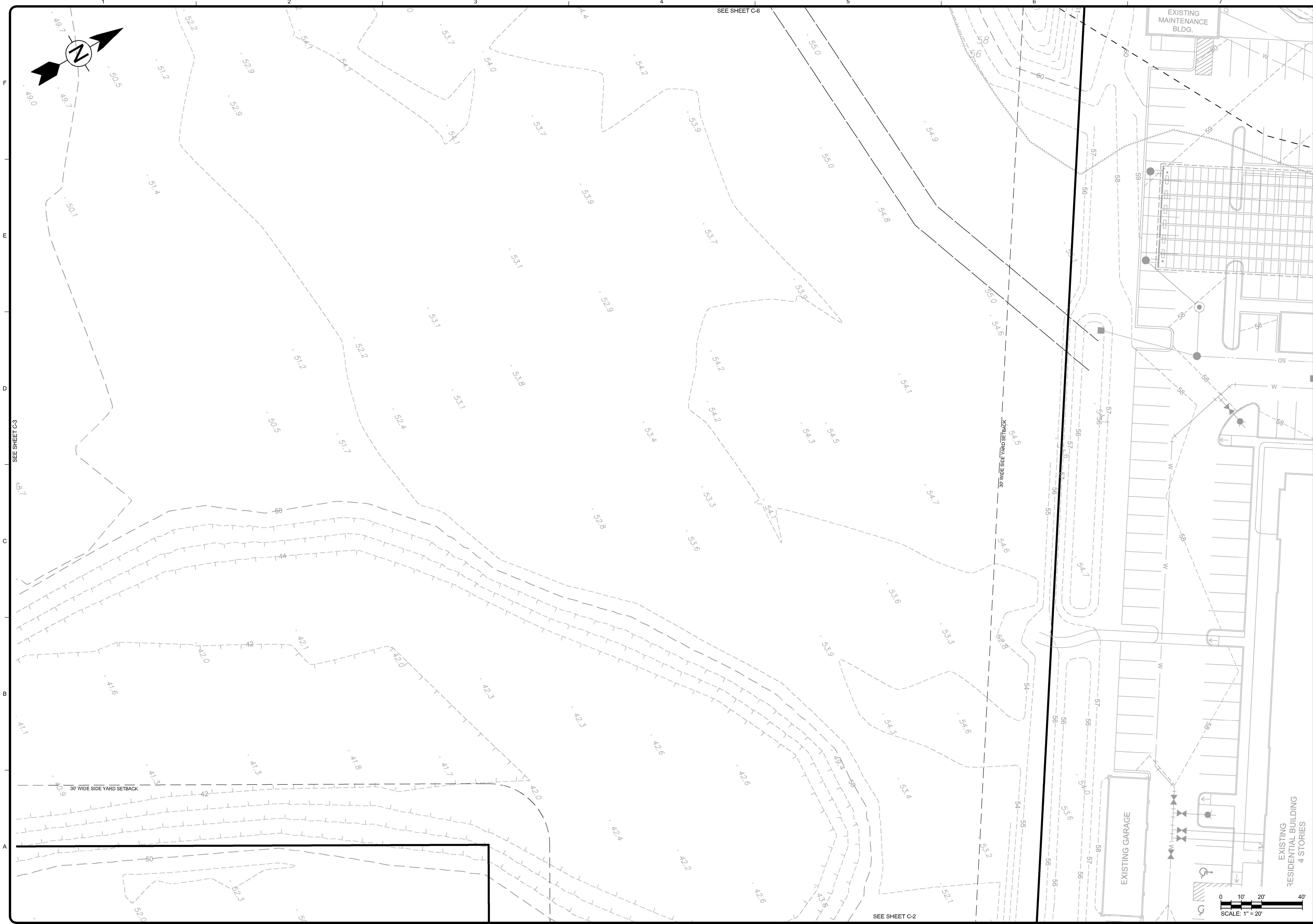
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Conceptual Site Plans
Hanover Hyannis II

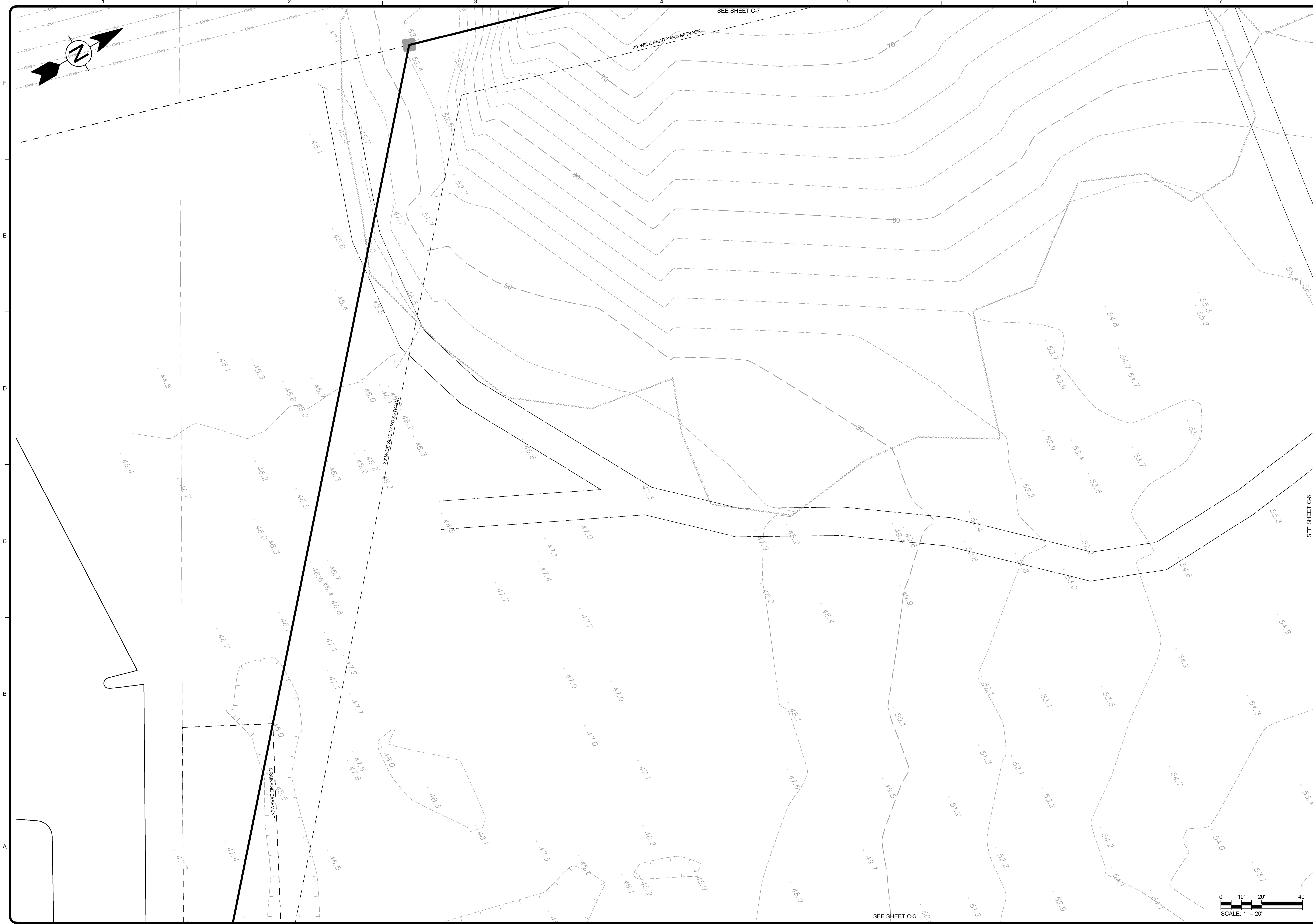
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C-4

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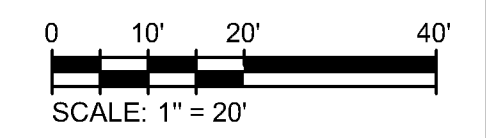
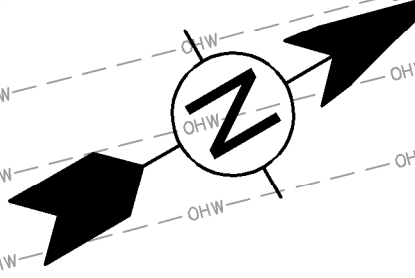


SEE SHEET C-7

30' WIDE REAR YARD SETBACK

30' WIDE SIDE YARD SETBACK

DRAINAGE EASEMENT



SEE SHEET C-3

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Conceptual Site Plans
Hanover Hyannis II

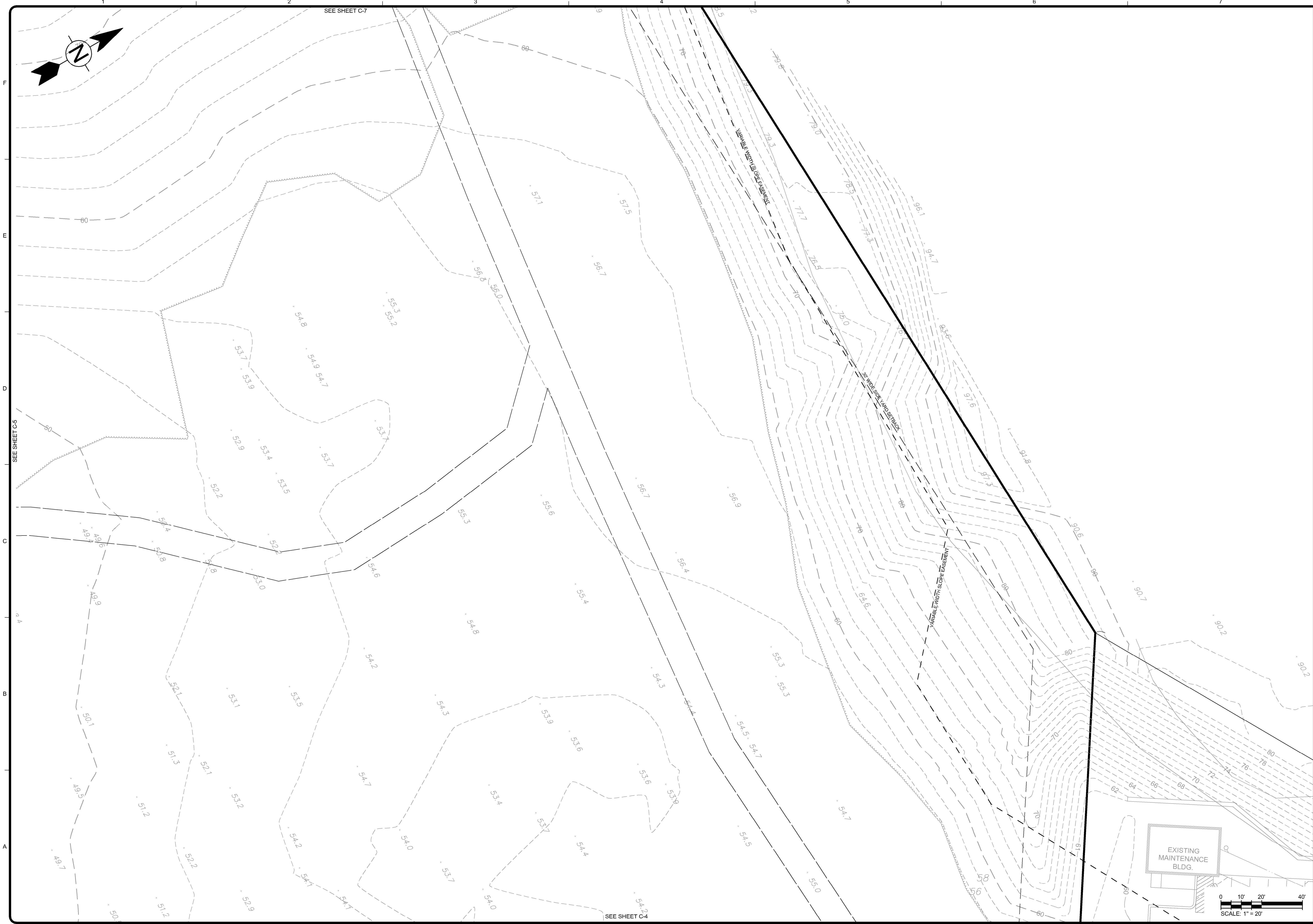
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C-5

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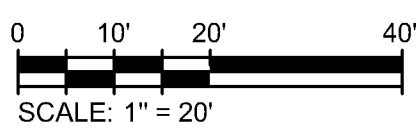


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EXISTING MAINTENANCE BLDG.



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1	8/2/24	CONCEPTUAL SITE PLANS	

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Proj. Loc.: Wilkens Lane, Hyannis, MA

Project No.: 143-26700-20001

Conceptual Site Plans
Hanover Hyannis II

Existing Conditions Plan

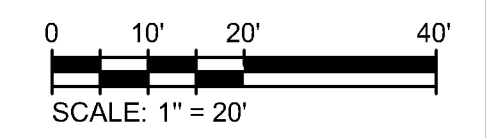
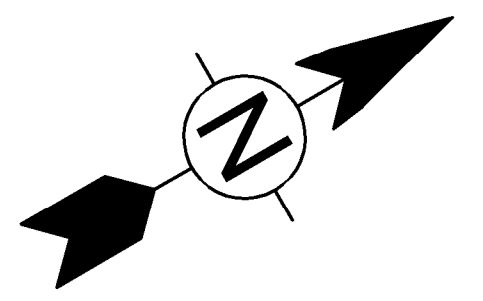
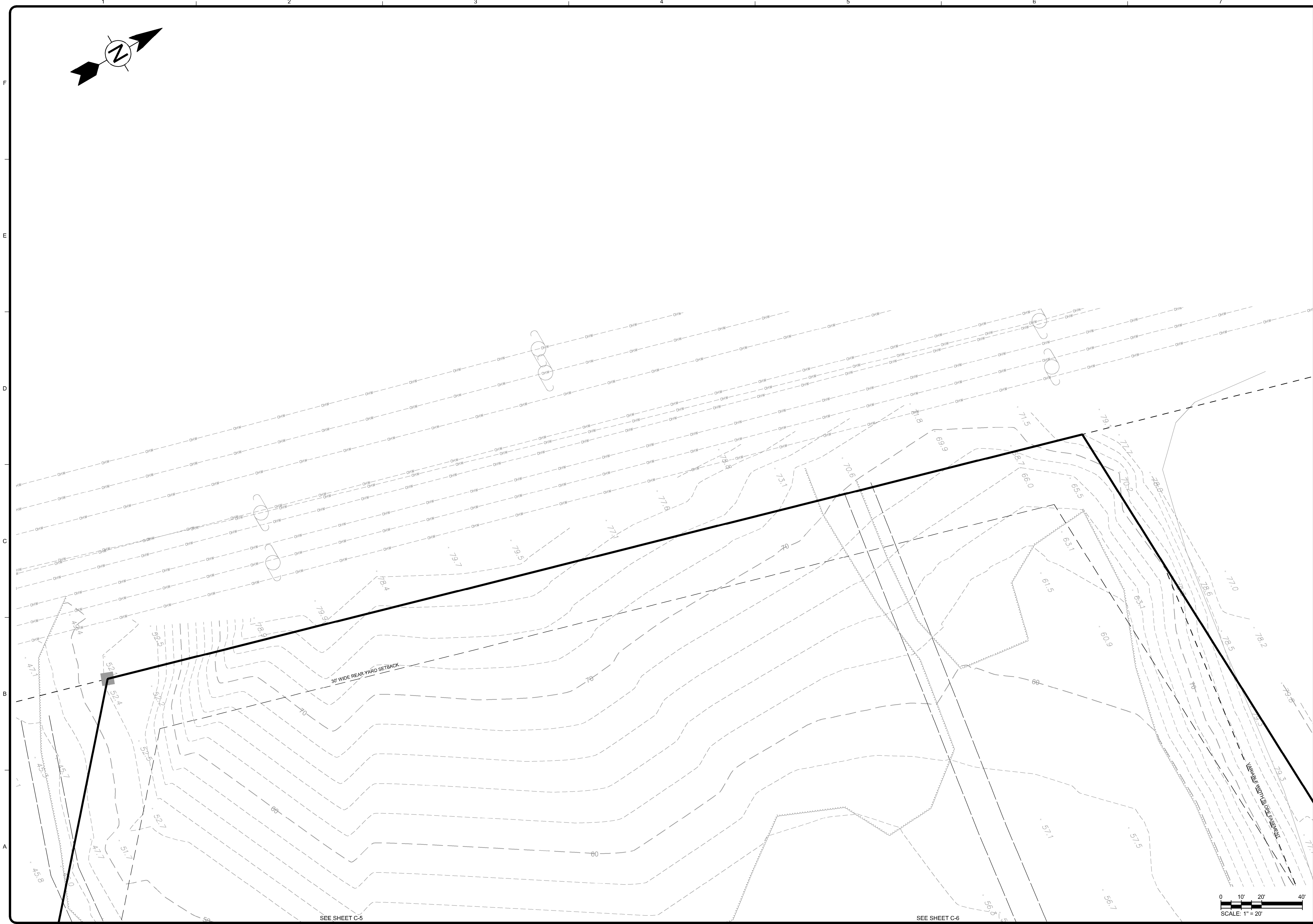
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Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA
Conceptual Site Plans
Hanover Hyannis II
Existing Conditions Plan

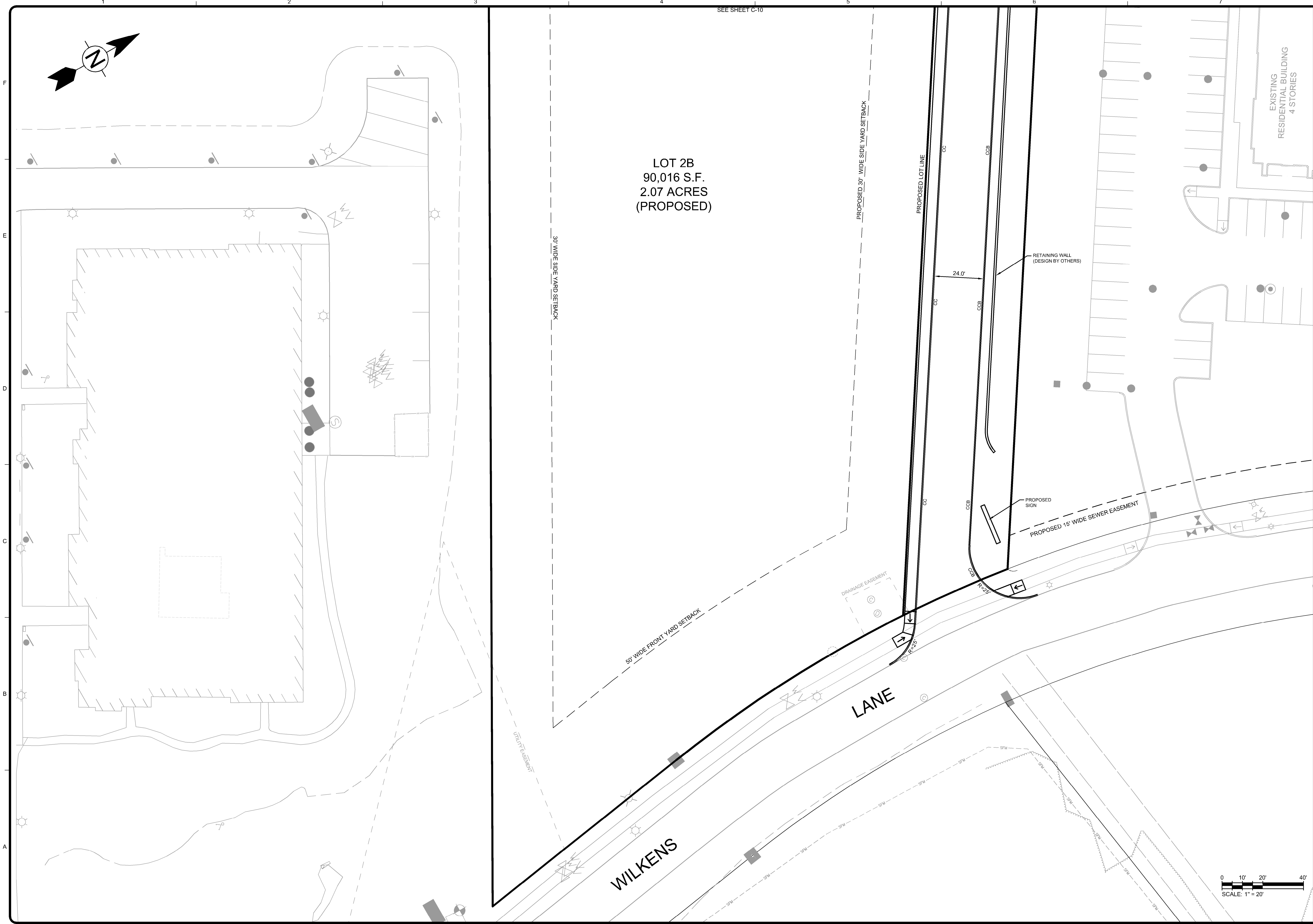
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1	8/2/24	CONCEPTUAL SITE PLANS

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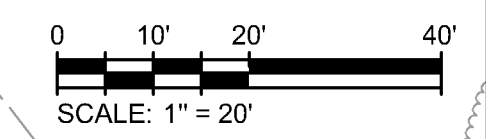
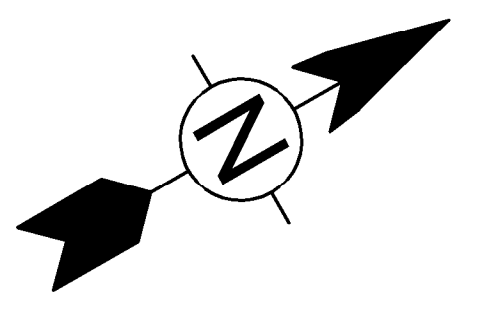
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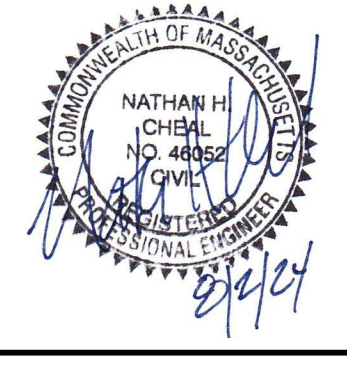


LOT 2B
90,016 S.F.
2.07 ACRES
(PROPOSED)

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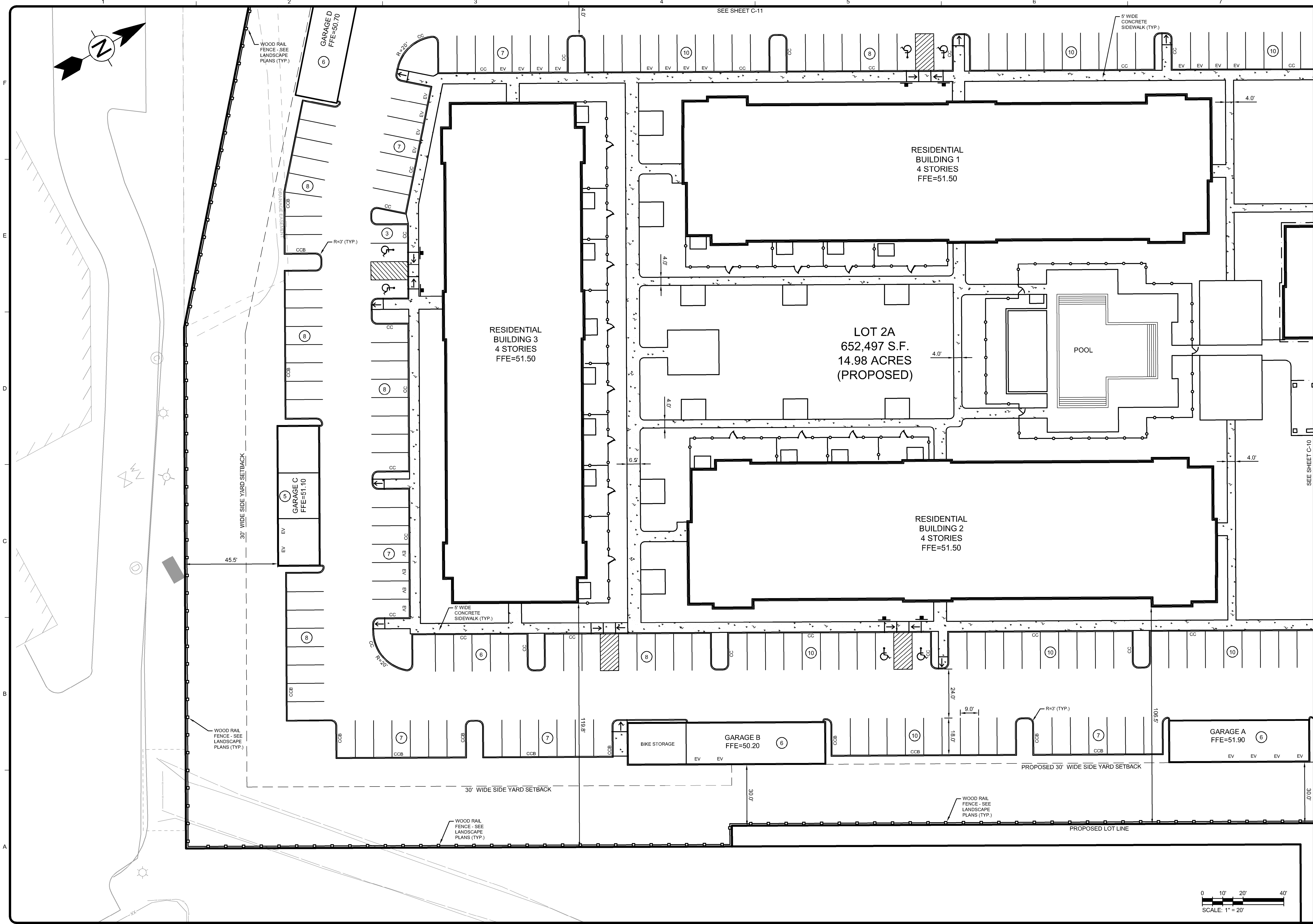
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Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

Conceptual Site Plans
Hanover Hyannis II
Site Layout Plan

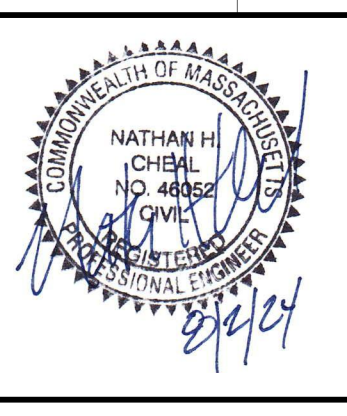
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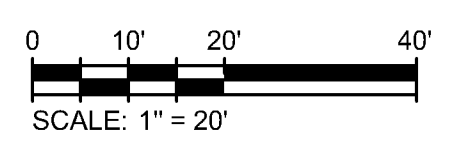
Conceptual Site Plans
Hanover Hyannis II

Site Layout Plan

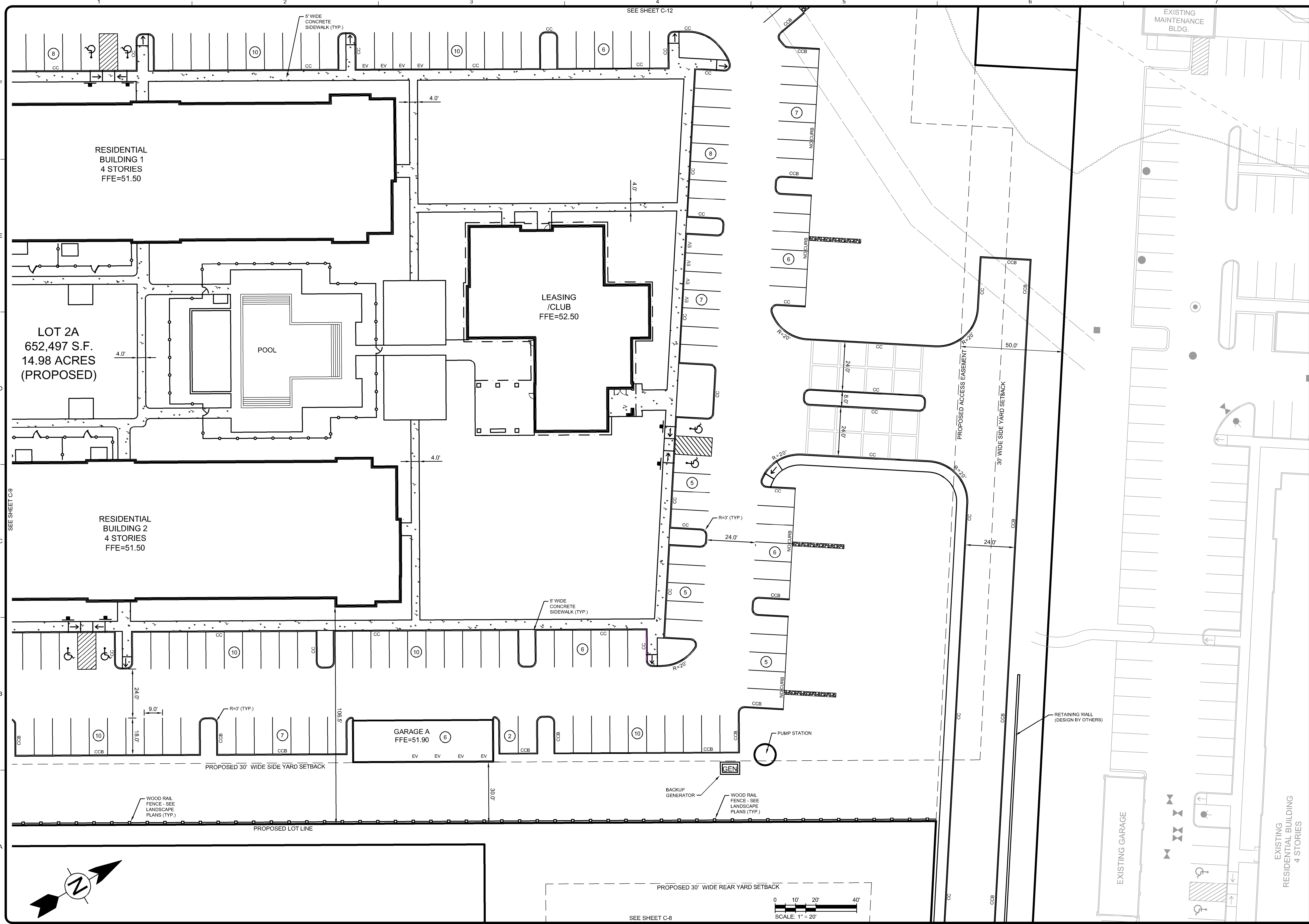
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Drawn By: J.L.P.
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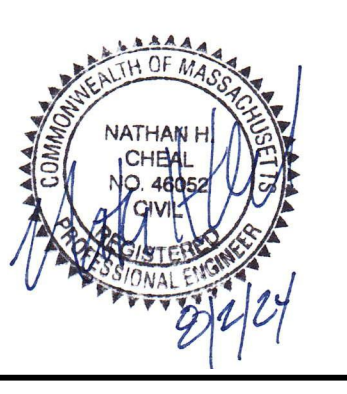
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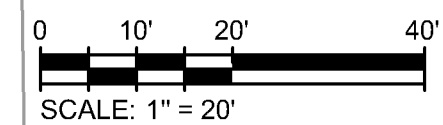
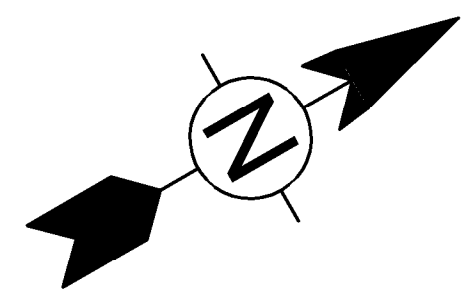
Conceptual Site Plans
 Hanover Hyannis II

Site Layout Plan

C-10

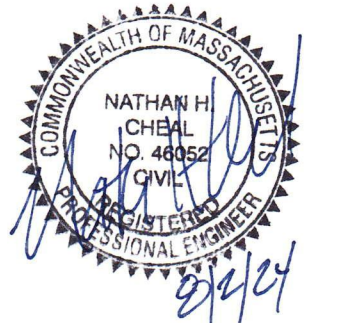
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Hanover Hyannis II

Site Layout Plan

Project No.: 143-26700-20001
Designed By: N.H.C.
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Checked By: N.H.C.

C-11

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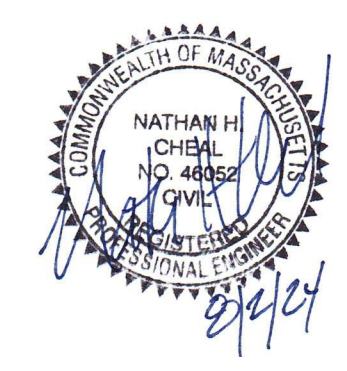
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SEE SHEET C-11

SEE SHEET C-10



APPLICANT:
HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

Conceptual Site Plans
Hanover Hyannis II

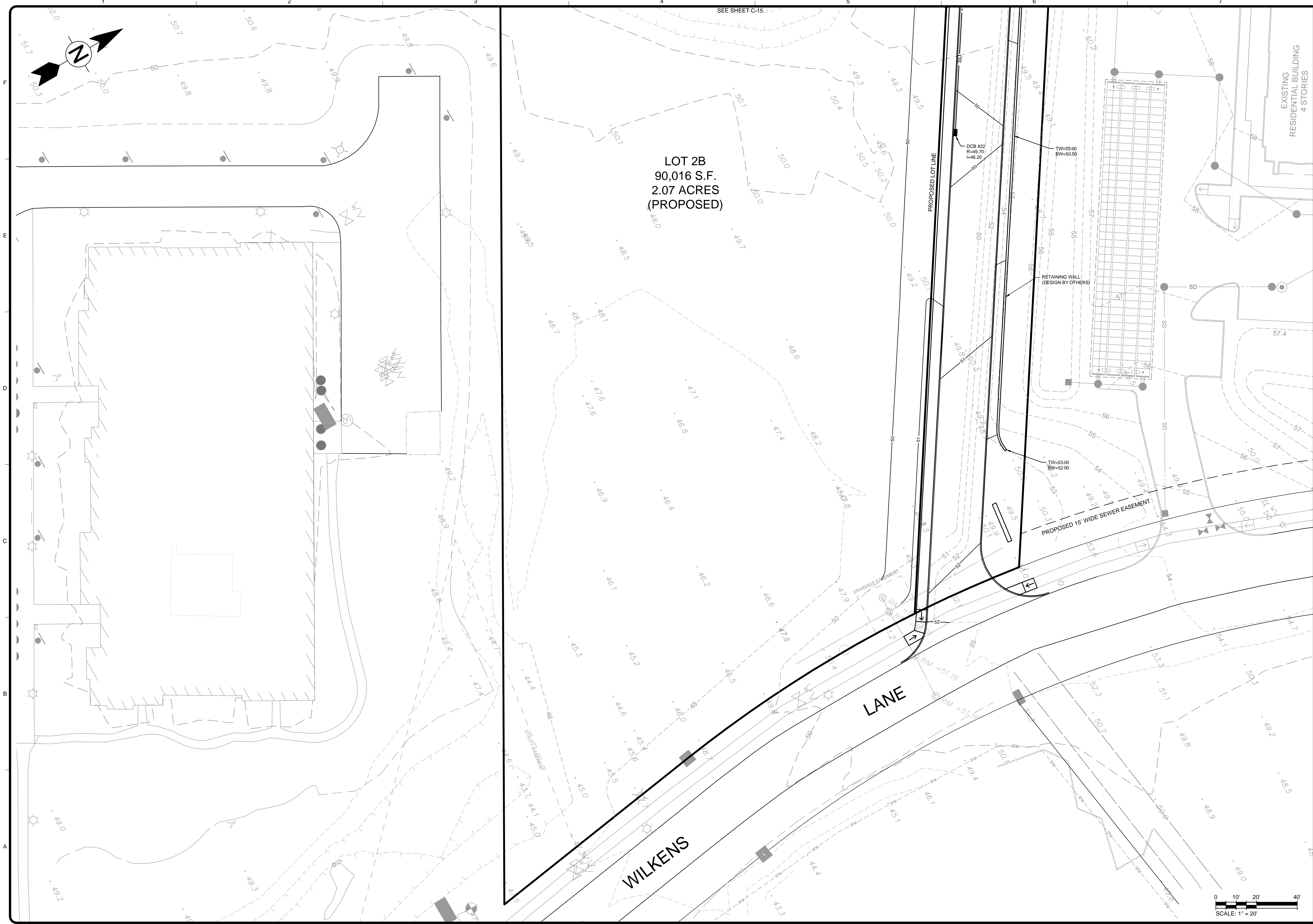
Site Layout Plan

C-12

Bar Measures 1 inch

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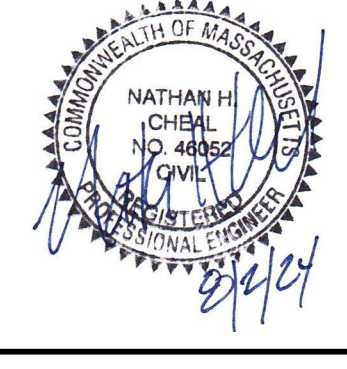
7/29/2024 10:34:49 AM - P:\26700\143-26700-23001\CAD\SHEETFILES\C-13-17 GRADING AND DRAINAGE PLAN.DWG - PAPPAS, JUD



LOT 2B
90,016 S.F.
2.07 ACRES
(PROPOSED)

LANE

WILKENS



BY: _____
 APPLICANT:
 HANOVER R.S. LIMITED PARTNERSHIP
 1 MARINA PARK DRIVE
 SUITE 701
 BOSTON, MA 02210
 ZONING CLASSIFICATION:
 MIXED-USE SUBZONE OF THE
 MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/22/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
 Proj. Loc.: Wilkens Lane, Hyannis, MA
 Conceptual Site Plans
 Hanover Hyannis II
 Grading and Drainage Plan

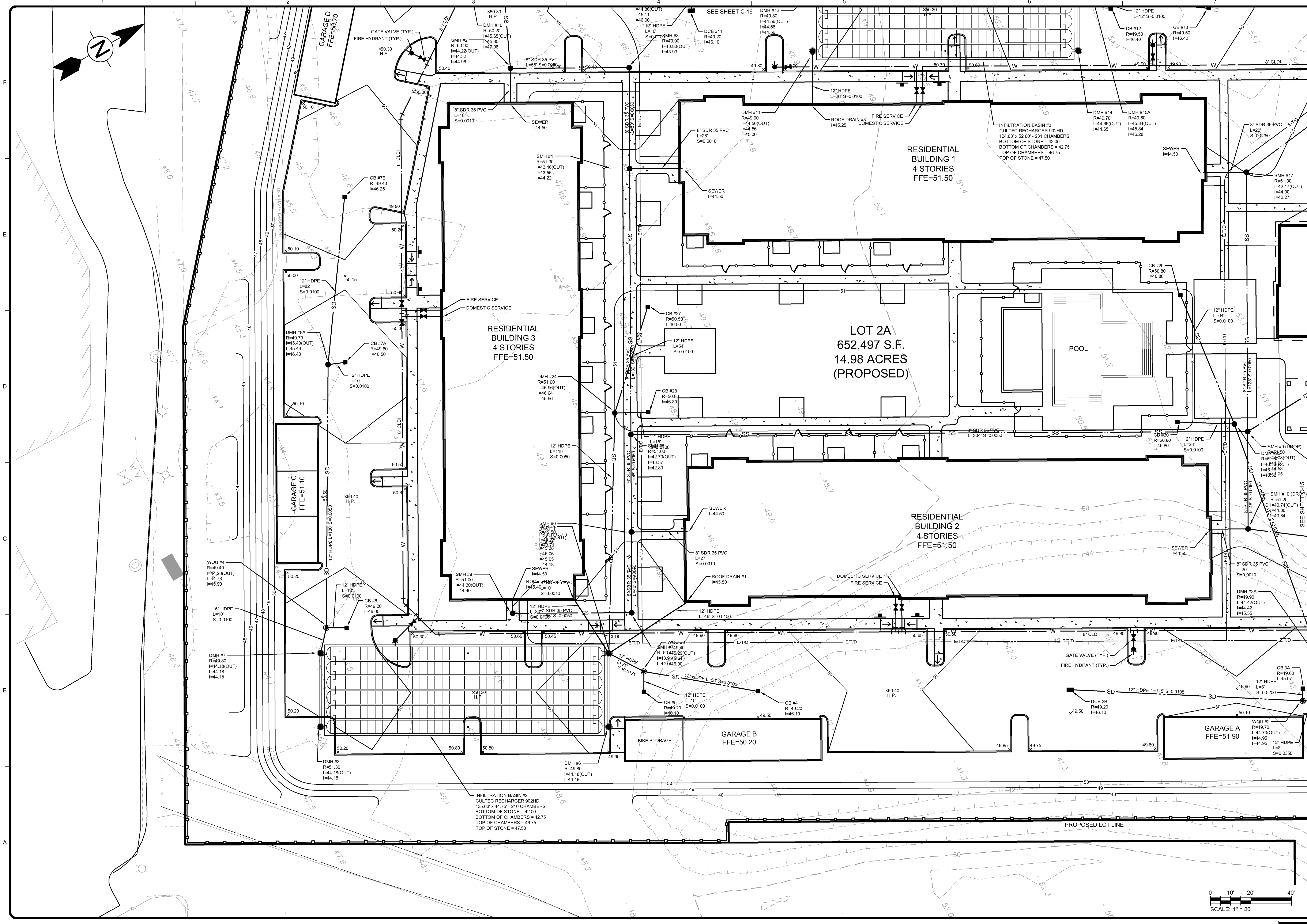
Project No.: 143-26700-20001
 Designed By: N.H.C.
 Drawn By: J.L.P.
 Checked By: N.H.C.

C-13

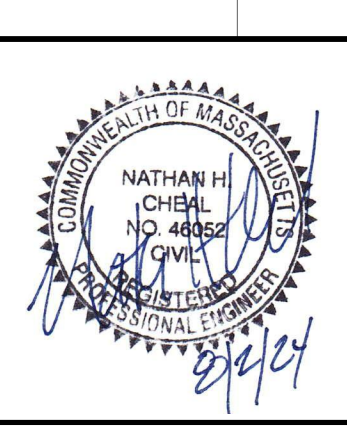
Bar Measures 1 inch

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APPLICANT: HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION: THE
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/22/24	CONCEPTUAL SITE PLANS

BY: [Signature]

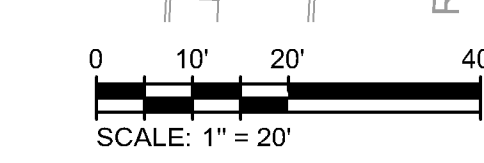
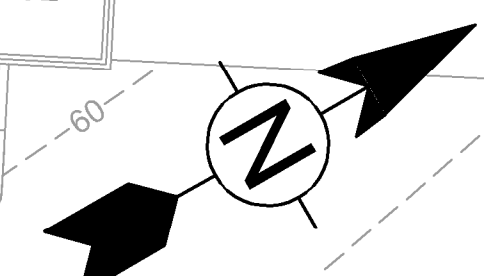
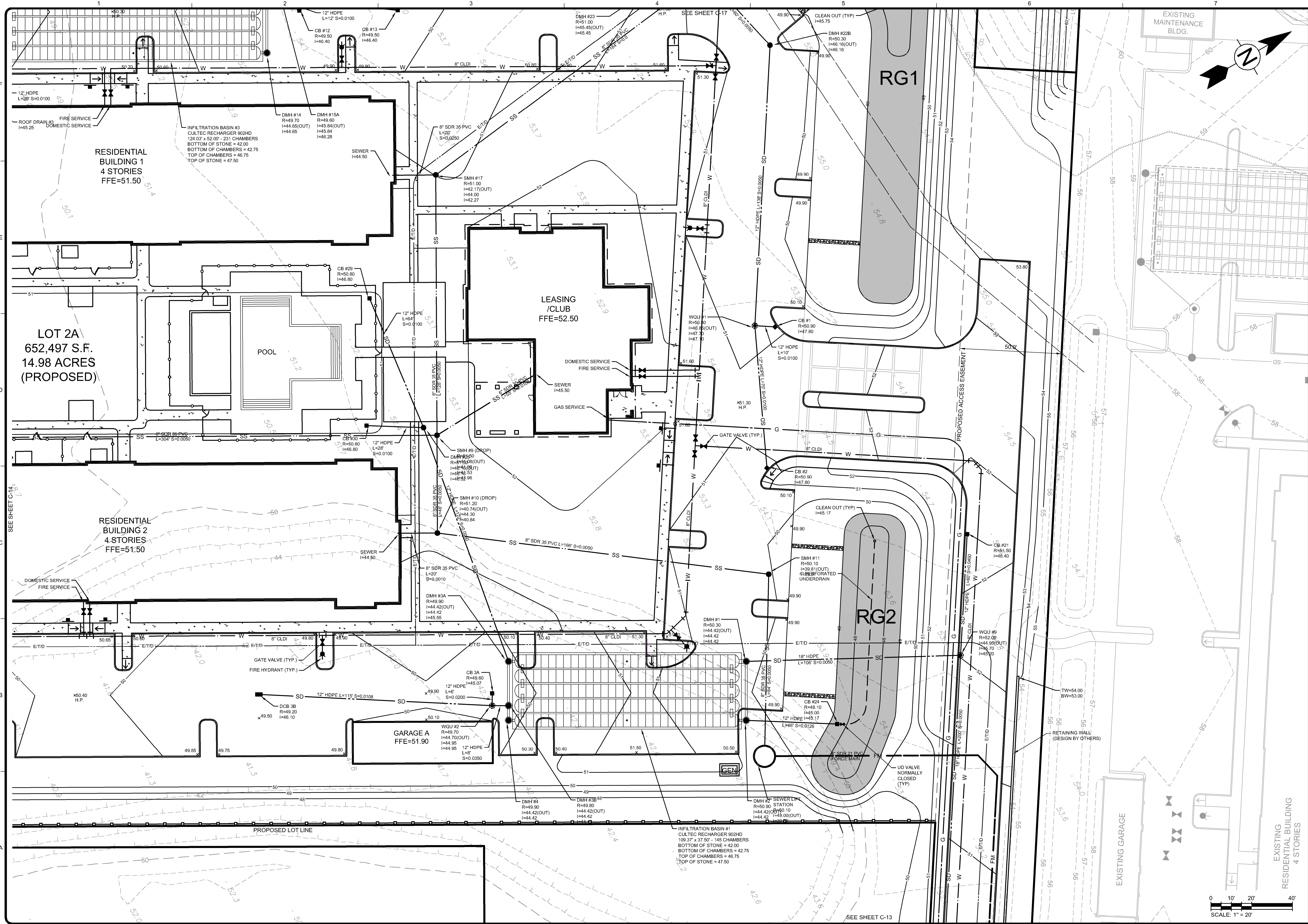
Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

Conceptual Site Plans
Hanover Hyannis II

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

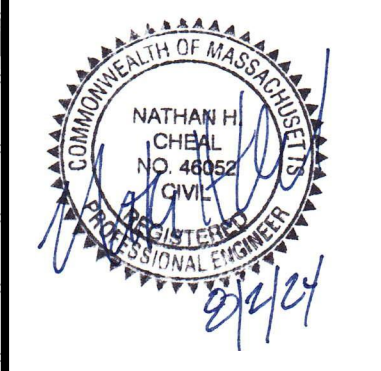
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Bar Measures 1 inch

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APPLICANT:
HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

Conceptual Site Plans
Hanover Hyannis II

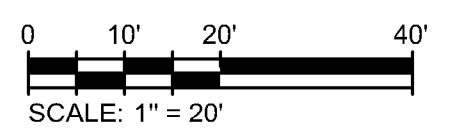
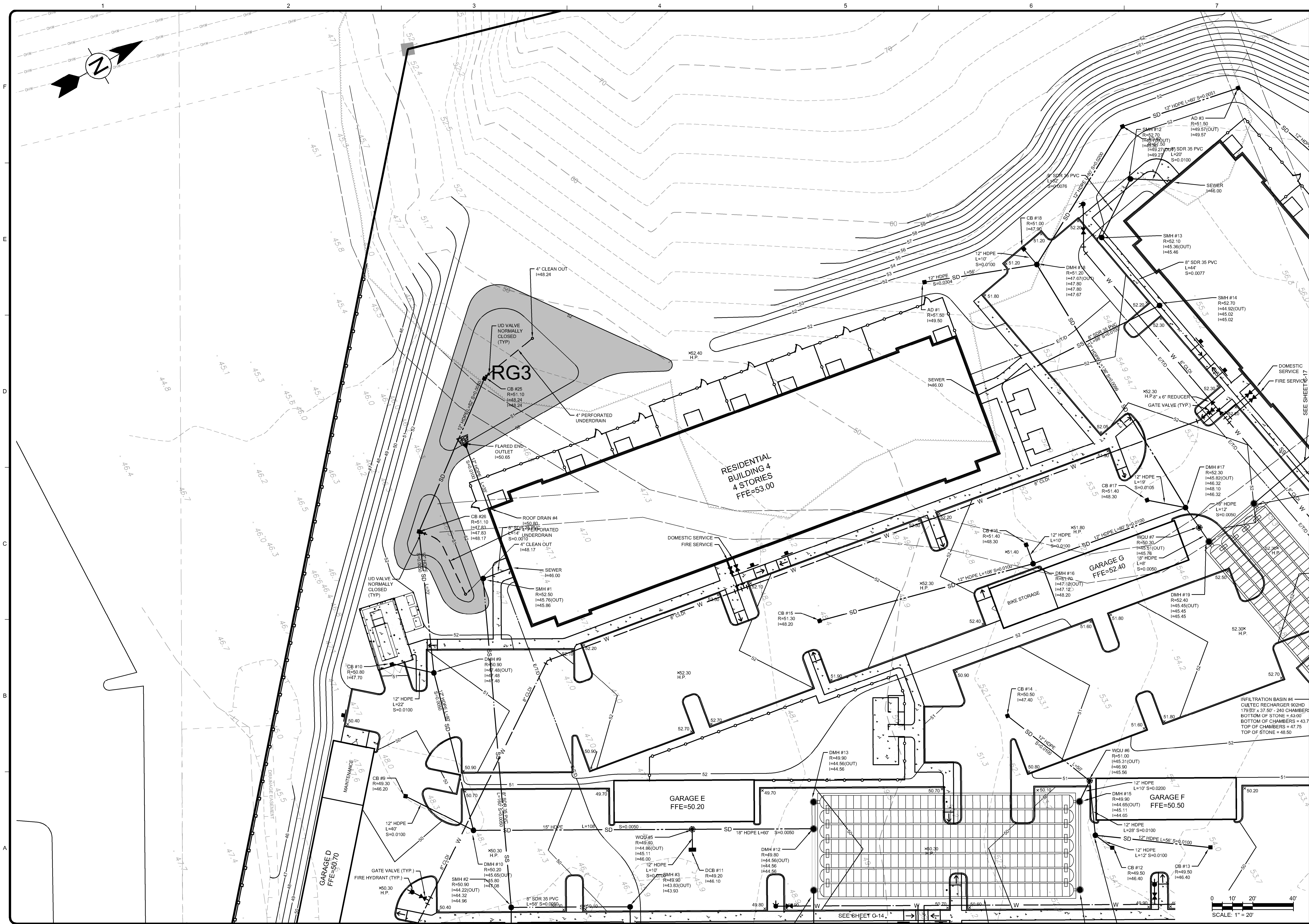
Project No.: 143-2670-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

C-15

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Bar Measures 1 inch

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1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
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MARK	DATE	DESCRIPTION
1	8/22/24	CONCEPTUAL SITE PLANS

BY: [Signature]

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

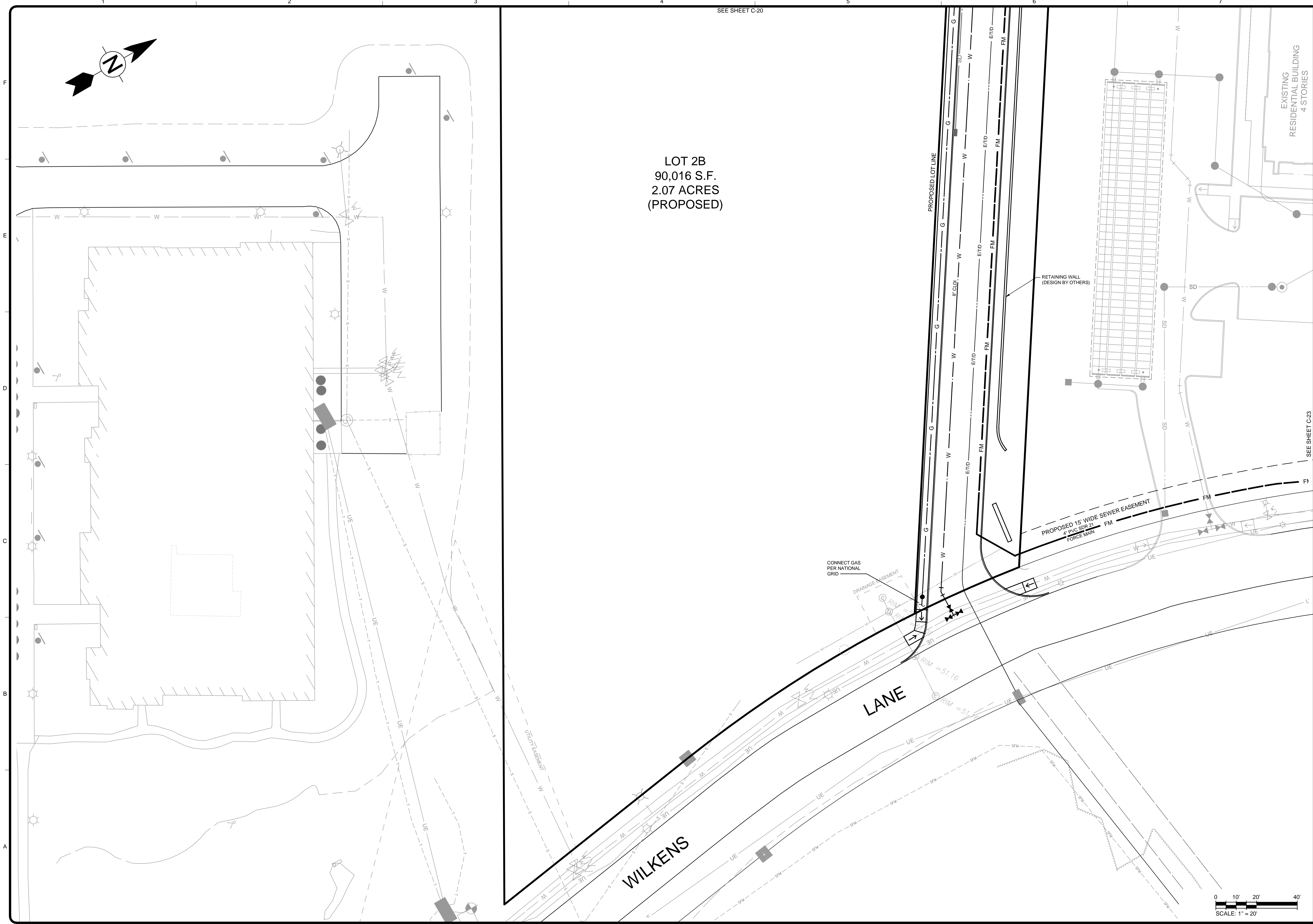
Conceptual Site Plans
Hanover Hyannis II

Grading and Drainage Plan

C-16


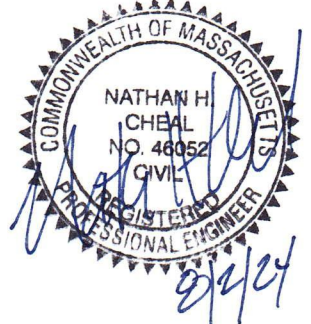
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LOT 2B
90,016 S.F.
2.07 ACRES
(PROPOSED)

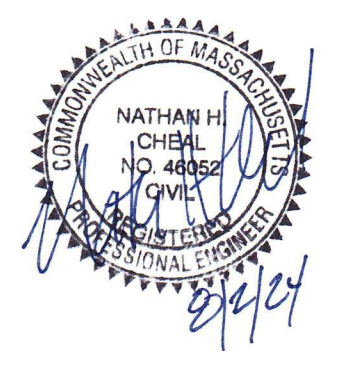
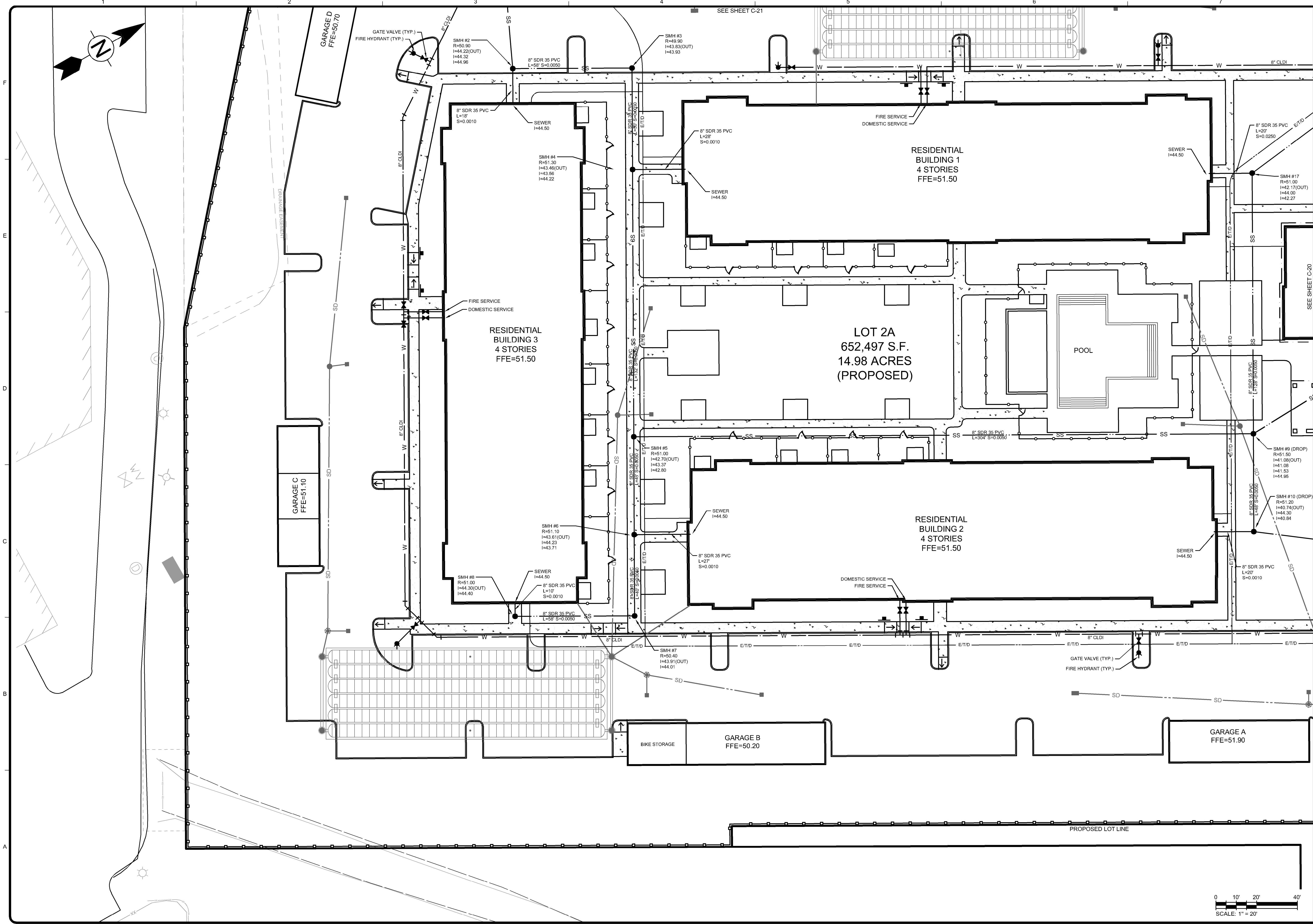
SEE SHEET C-20

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APPLICANT: HANOVER R.S. LIMITED PARTNERSHIP 1 MARINA PARK DRIVE SUITE 701 BOSTON, MA 02210 ZONING CLASSIFICATION: MIXED-USE SUBZONE OF THE MEDICAL SERVICES OVERLAY DISTRICT	
MARK 1	DESCRIPTION CONCEPTUAL SITE PLANS
DATE 8/2/24	BY SEE SHEET C-23
Client: Hanover R.S. Limited Partnership Proj. Loc.: Wilkens Lane, Hyannis, MA Project No.: 143-26700-20001 Designed By: N.H.C. Drawn By: J.L.P. Checked By: N.H.C.	
Utility Plan	
C-18	

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Bar Measures 1 inch

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APPLICANT:
HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/22/24	CONCEPTUAL SITE PLANS

BY: [Signature]

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

Conceptual Site Plans
Hanover Hyannis II

Utility Plan

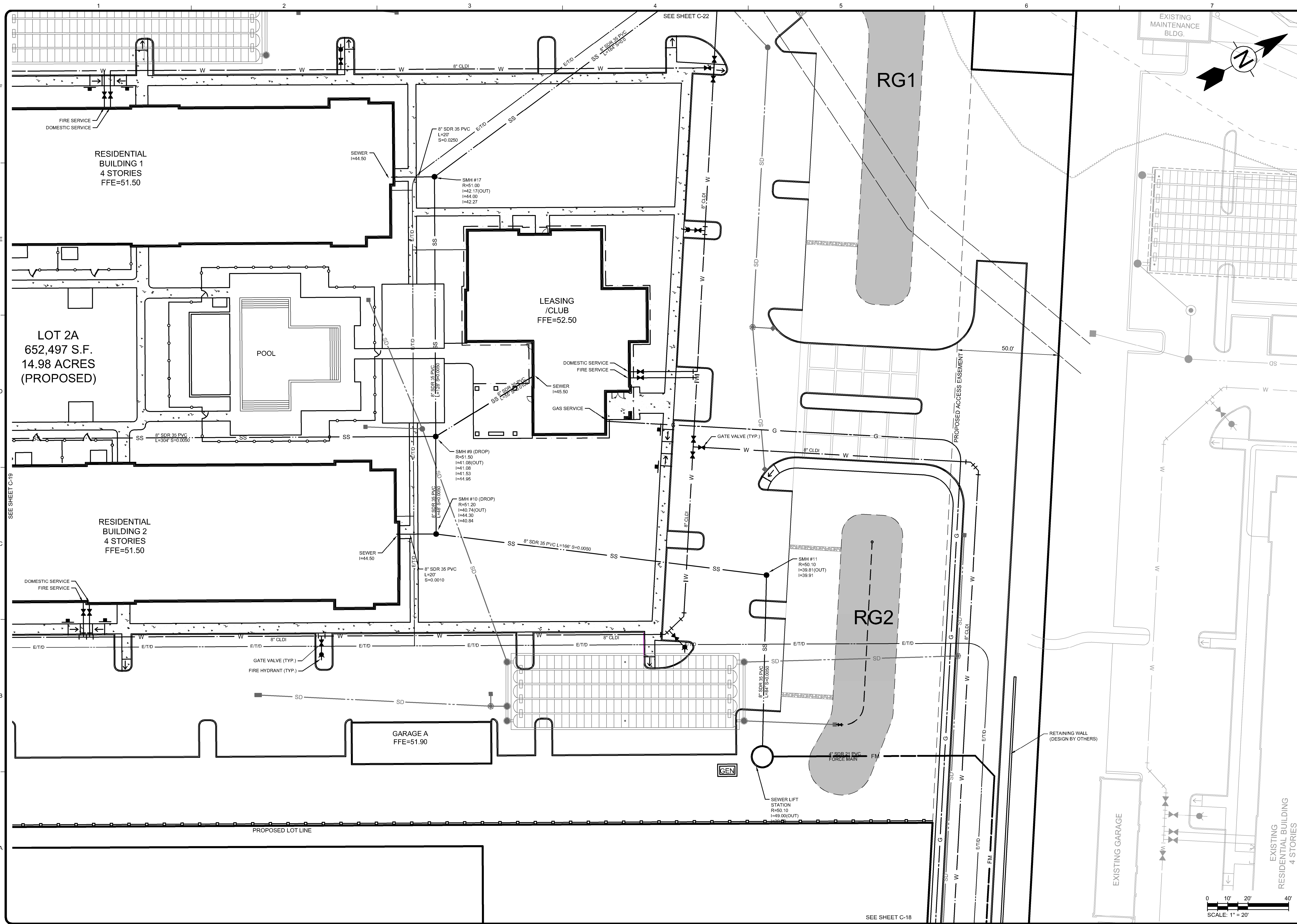
Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

C-19

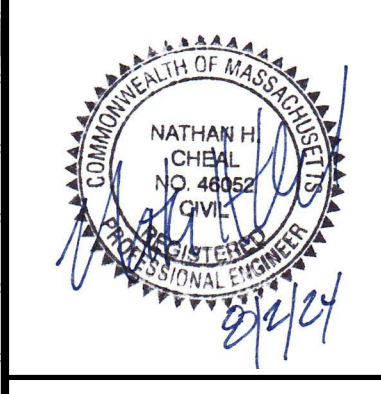
Bar Measures 1 inch

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APPLICANT:
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1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

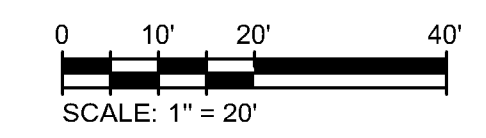
Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

Conceptual Site Plans
Hanover Hyannis II

Utility Plan

C-20

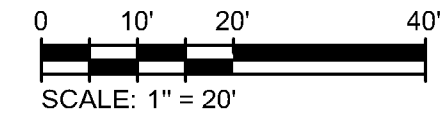
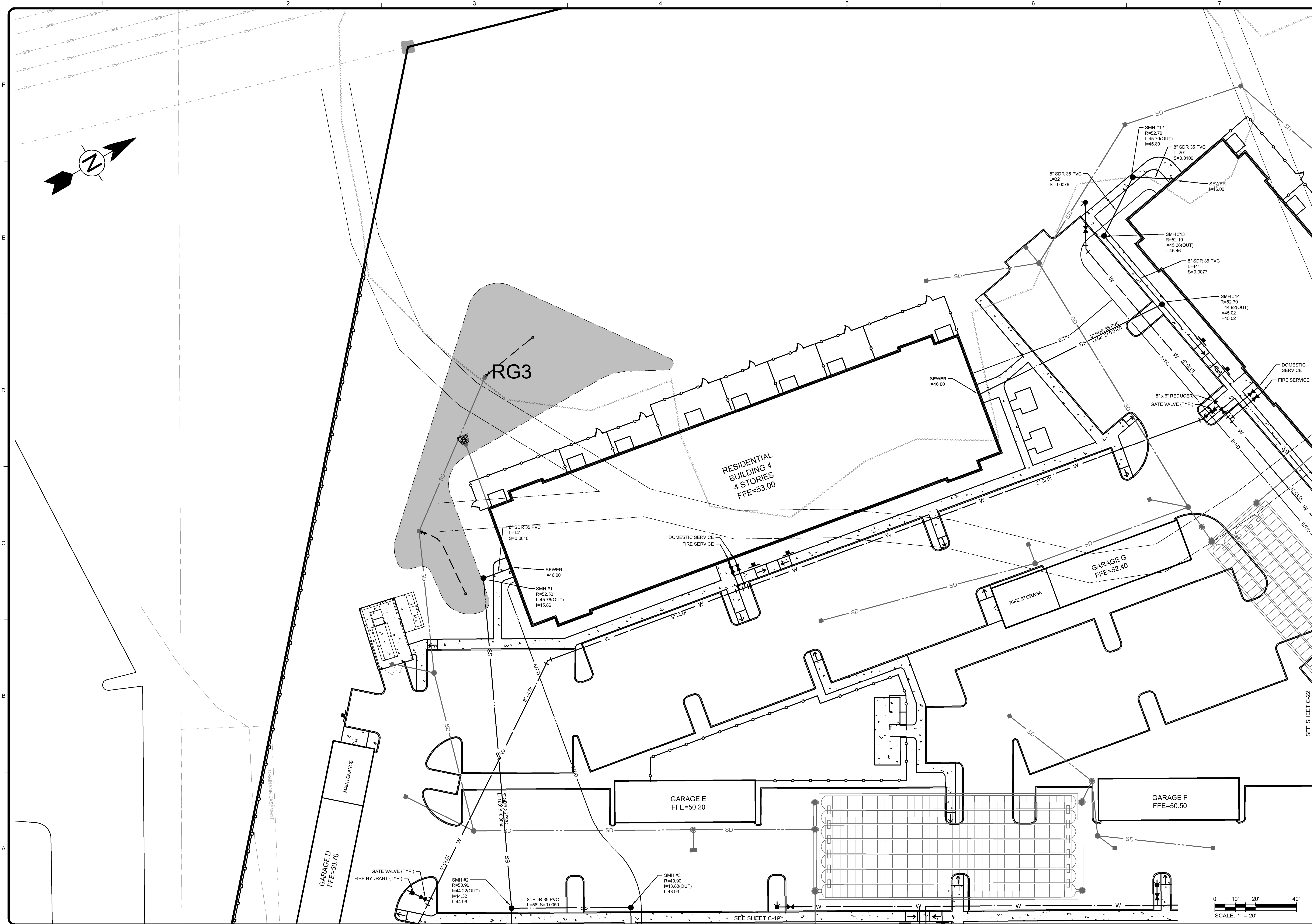
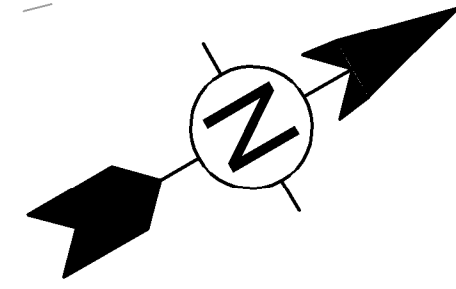
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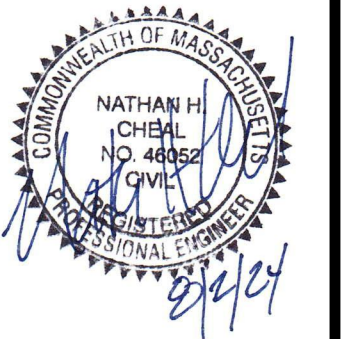
SEE SHEET C-18

SEE SHEET C-22

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1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210
ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

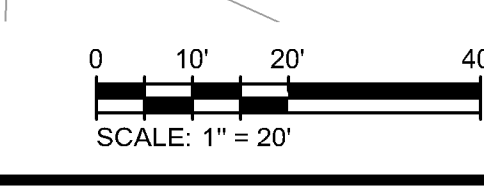
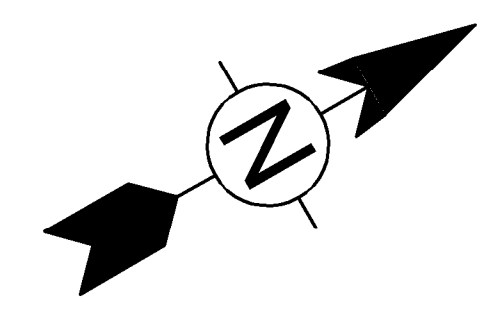
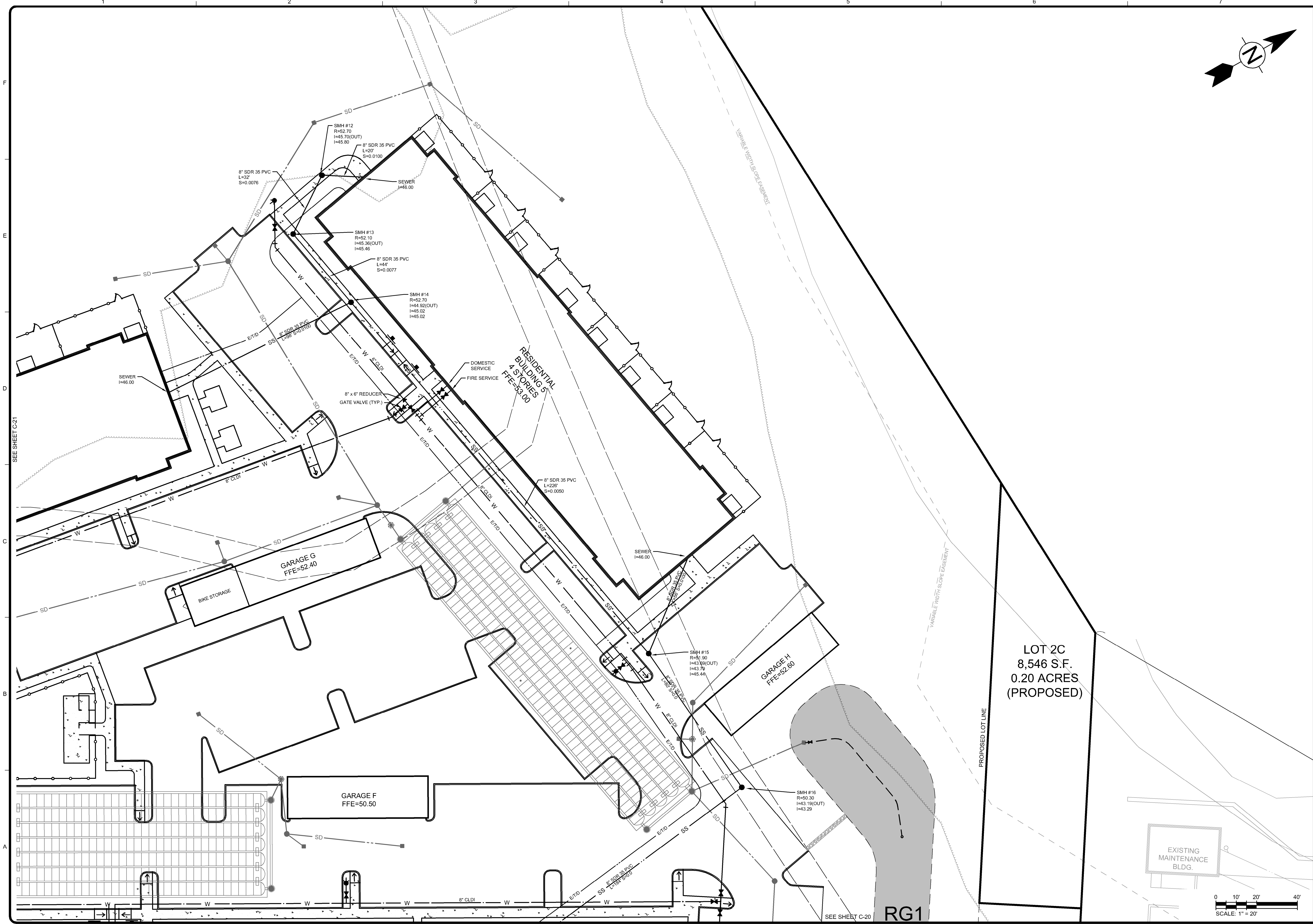
MARK	DATE	DESCRIPTION
1	8/22/24	CONCEPTUAL SITE PLANS

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

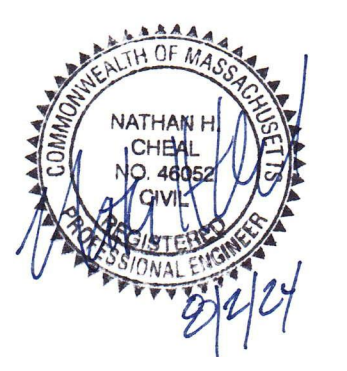
C-21

Bar Measures 1 inch

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APPLICANT:
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1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

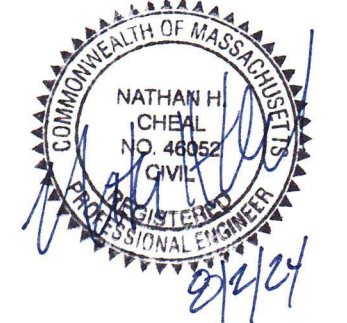
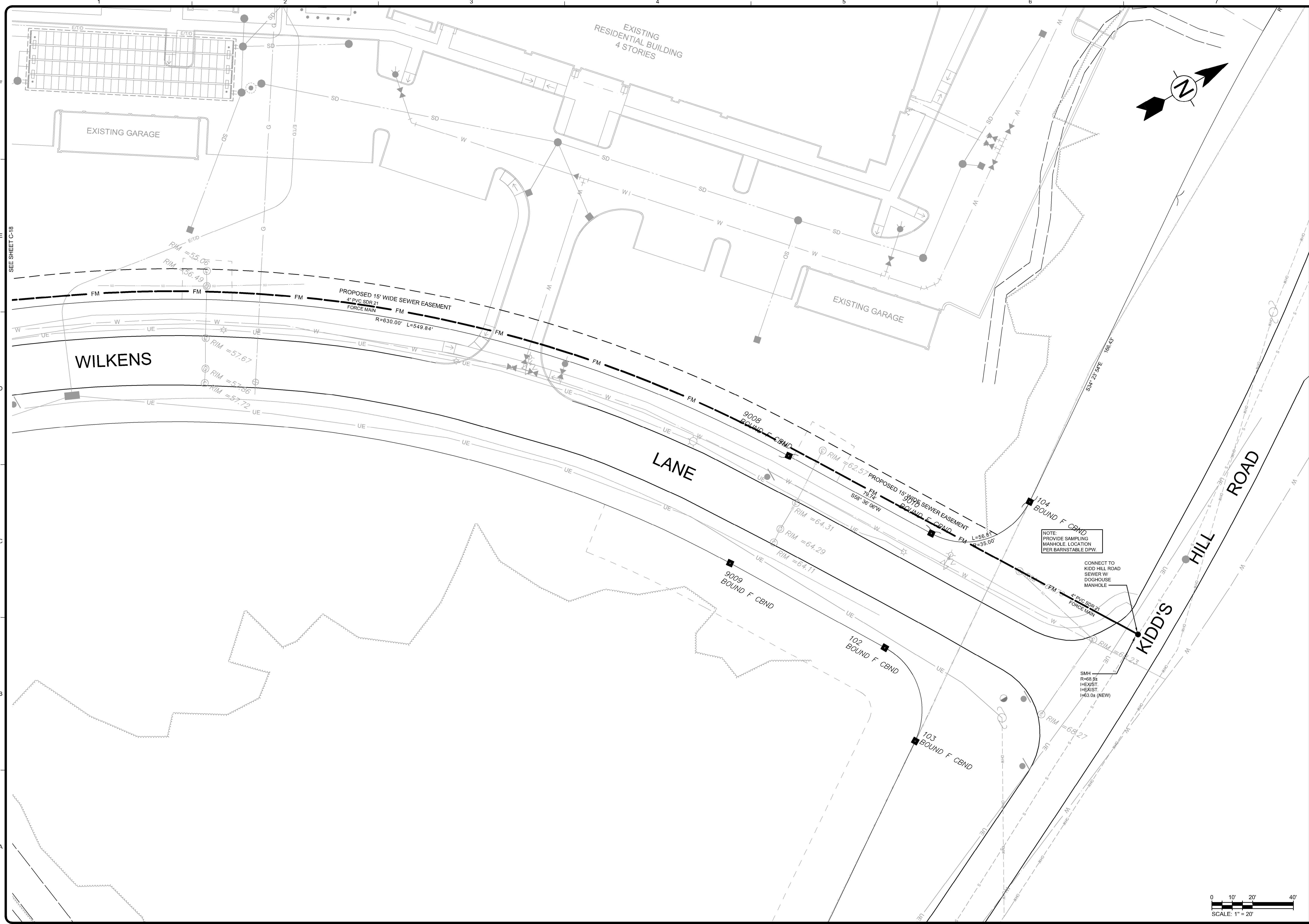
Conceptual Site Plans
Hanover Hyannis II

Utility Plan

C-22

Bar Measures 1 inch

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1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

Conceptual Site Plans
Hanover Hyannis II

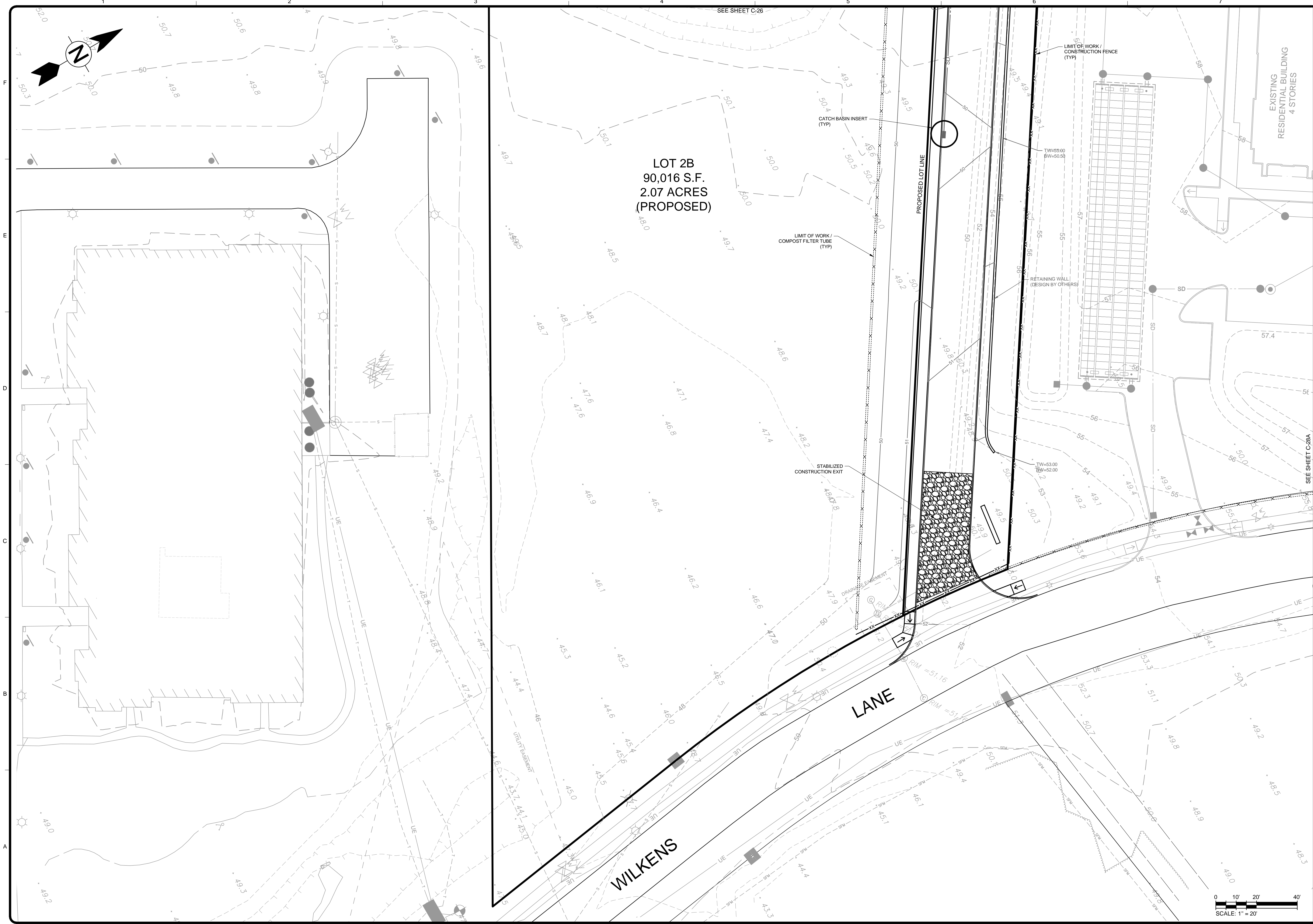
Utility Plan

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

C-23

Bar Measures 1 inch

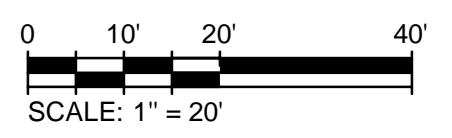
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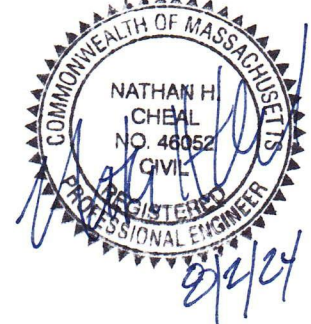


LOT 2B
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2.07 ACRES
(PROPOSED)

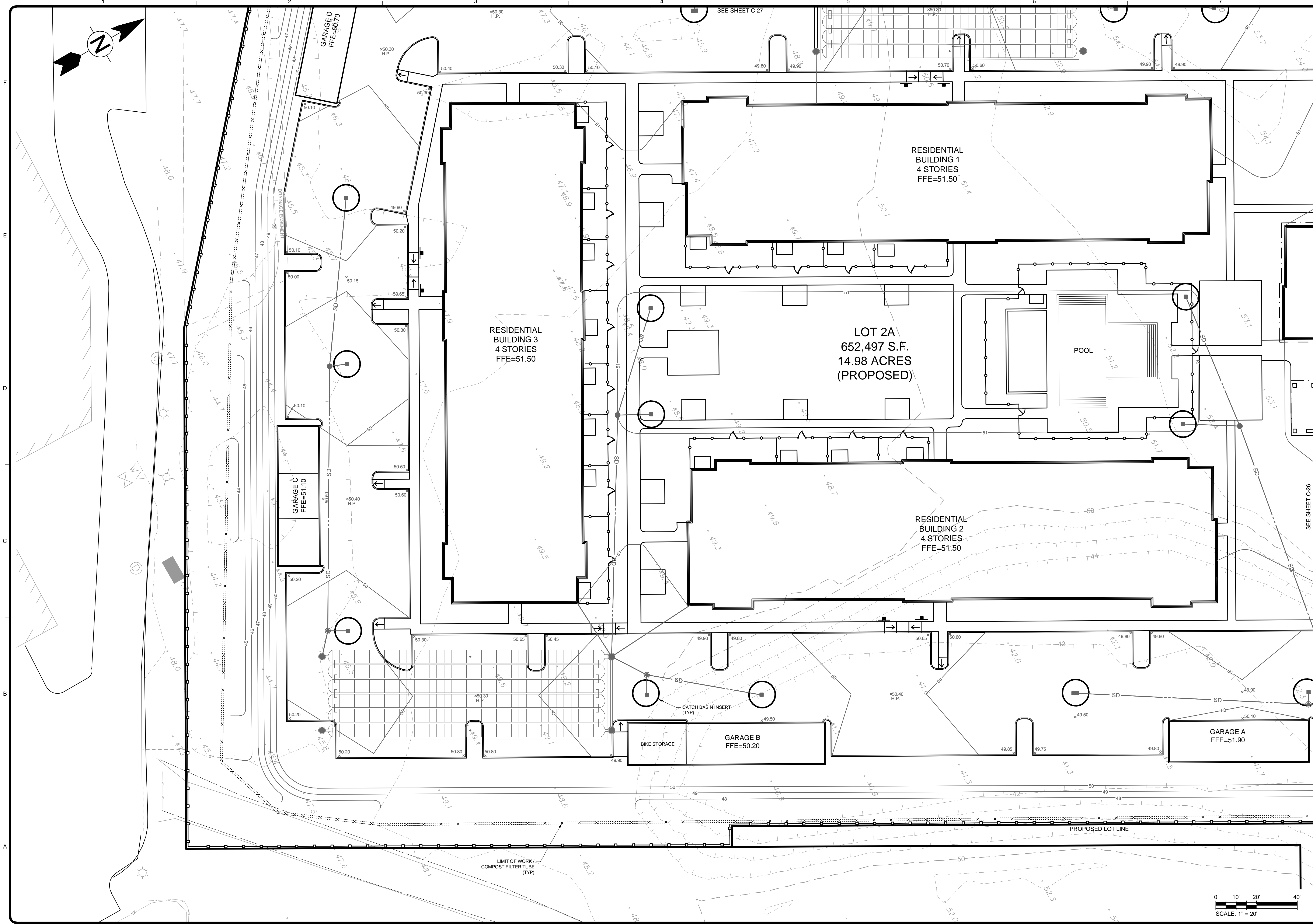
LANE

WILKENS

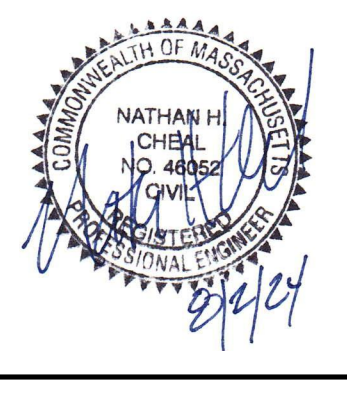


 TETRA TECH <small>www.tetratech.com 100 Nickerson Road Marlborough, MA 01752 PHONE: (508) 786-2200 FAX: (508) 786-2201</small>		 <small>NATHAN H. CHEAH No. 48824 STATE OF MASSACHUSETTS PROFESSIONAL ENGINEER</small>	APPLICANT: HANOVER R.S. LIMITED PARTNERSHIP 1 MARINA PARK DRIVE SUITE 701 BOSTON, MA 02210
			ZONING CLASSIFICATION: MIXED-USE SUBZONE OF THE MEDICAL SERVICES OVERLAY DISTRICT
BY	DESCRIPTION	DATE	MARK
SEE SHEET C-28A	CONCEPTUAL SITE PLANS	8/2/24	1
Client: Hanover R.S. Limited Partnership Proj. Loc.: Wilkens Lane, Hyannis, MA Conceptual Site Plans Hanover Hyannis II			
Project No.: 143-26700-20001 Designed By: N.H.C. Drawn By: J.L.P. Checked By: N.H.C.		Erosion & Sediment Control Plan Copyright: Tetra Tech	
C-24 Bar Measures 1 inch			

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SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
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MEDICAL SERVICES OVERLAY DISTRICT

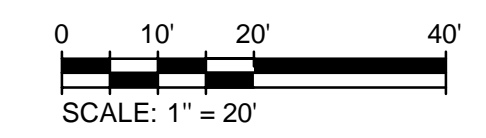
MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

BY: SEE SHEET C-26

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA
Conceptual Site Plans
Hanover Hyannis II

Project No.: 143-26700-2001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

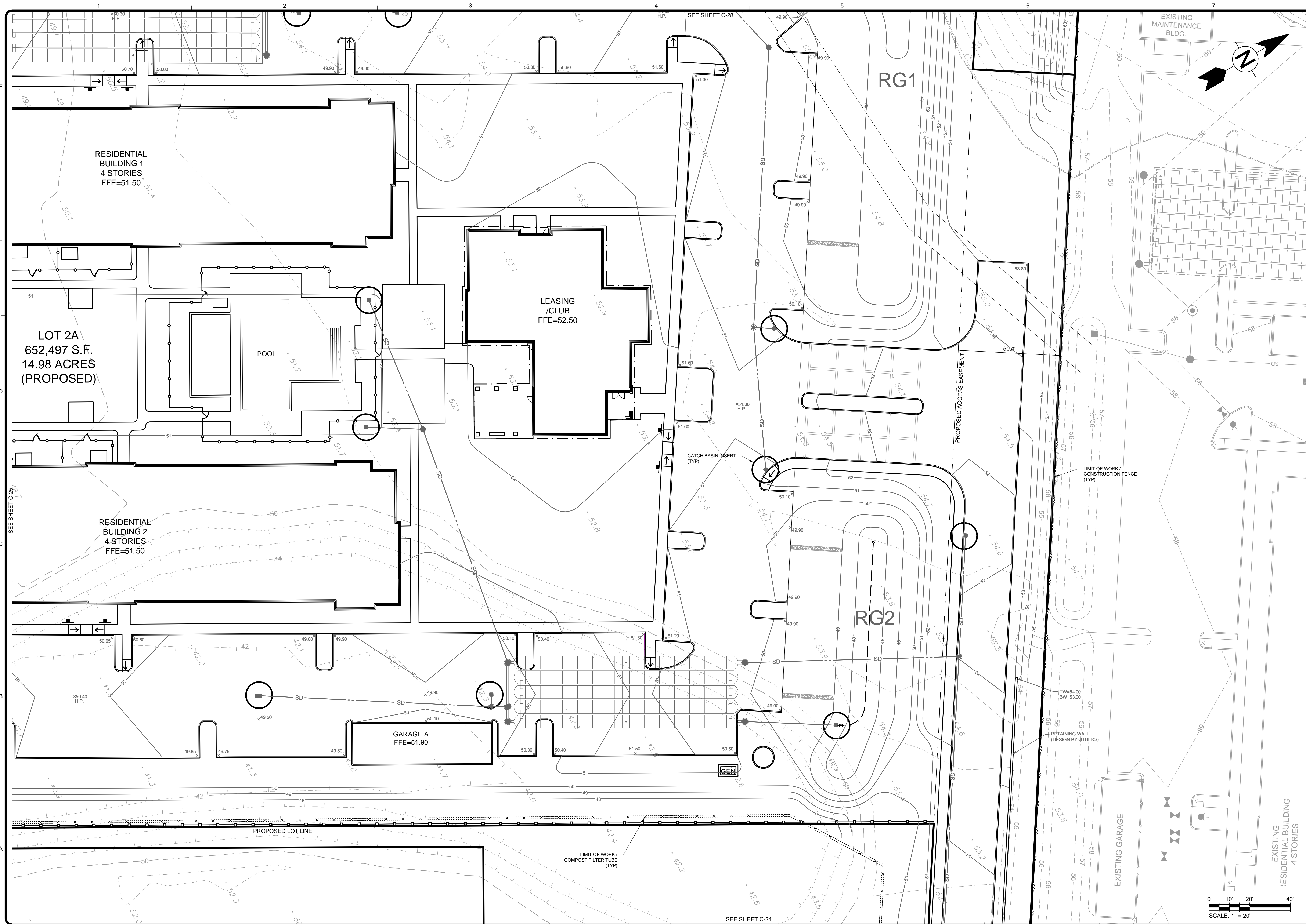
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Bar Measures 1 inch

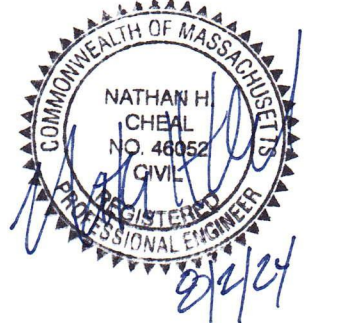
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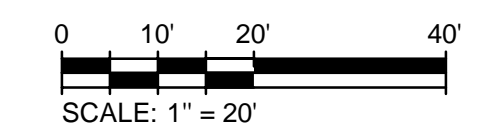
MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
 Proj. Loc.: Wilkens Lane, Hyannis, MA

Project No.: 143-26700-2001
 Designed By: N.H.C.
 Drawn By: J.L.P.
 Checked By: N.H.C.

Erosion & Sediment Control Plan

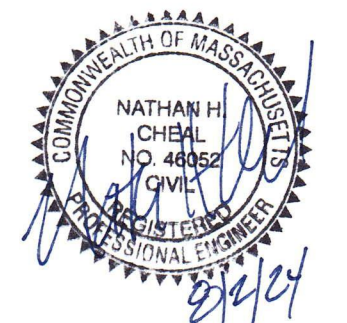
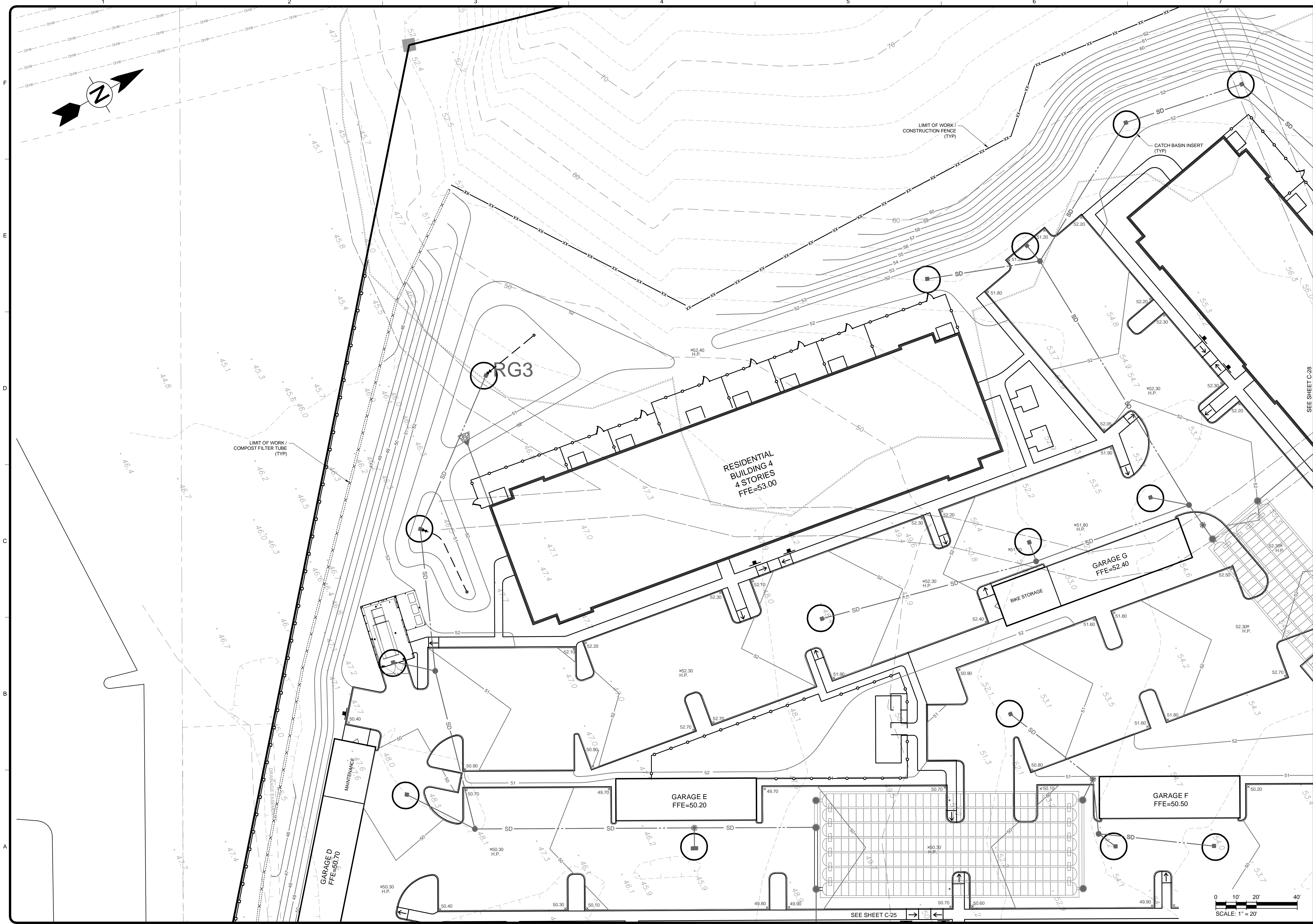
C-26



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Bar Measures 1 inch

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BY: SEE SHEET C-28

APPLICANT:
HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/22/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

Conceptual Site Plans
Hanover Hyannis II

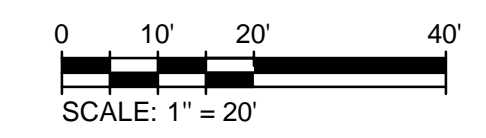
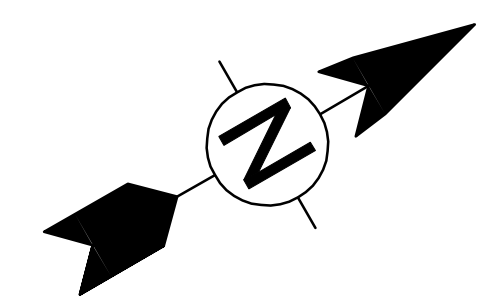
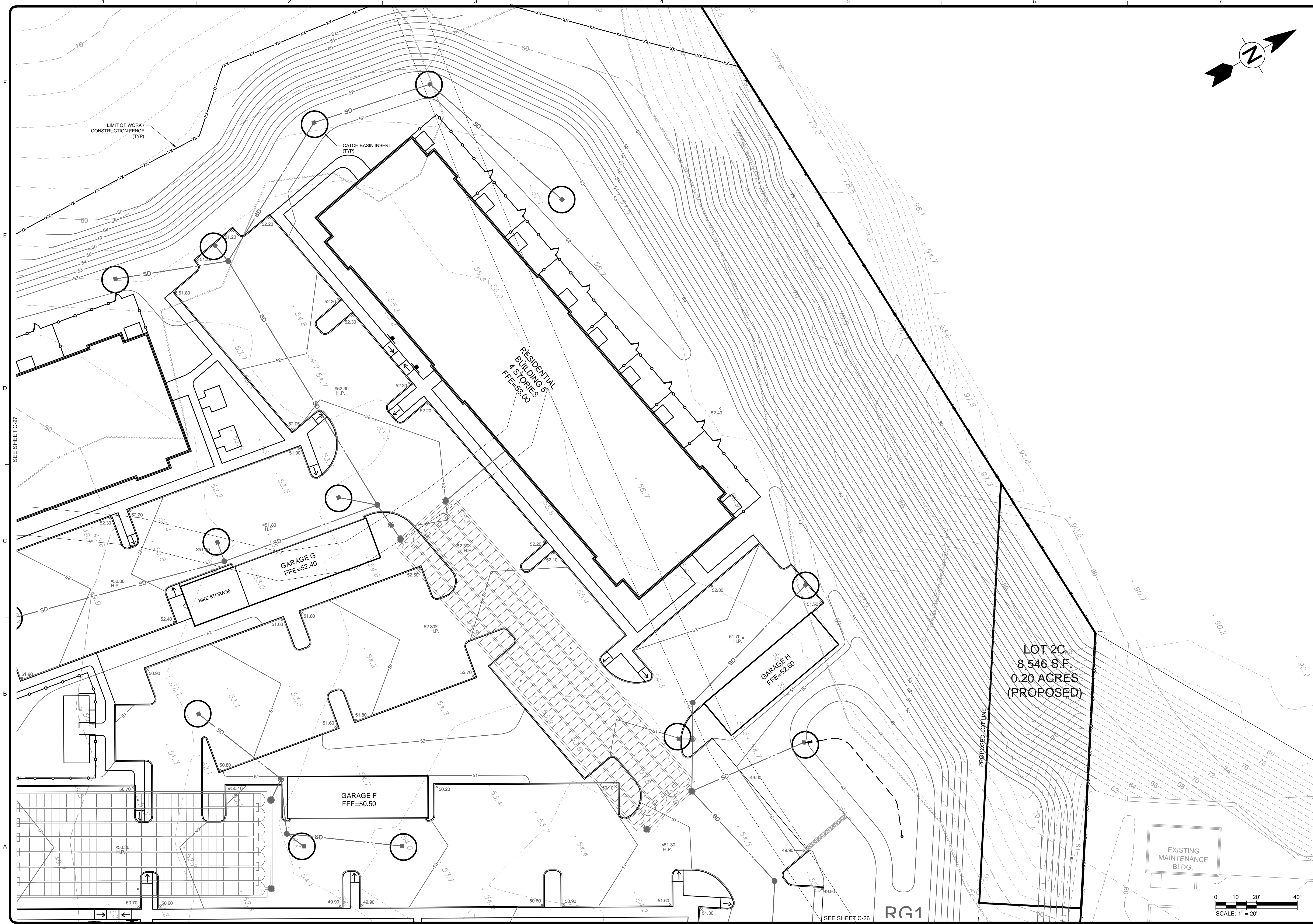
Erosion & Sediment Control Plan

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

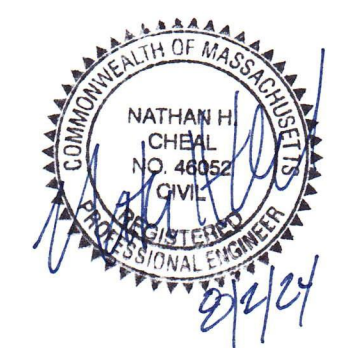
C-27

Copyright: Tetra Tech
Bar Measures 1 inch

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TETRA TECH
 www.tetratech.com
 100 Nickerson Road
 Marlborough, MA 01752
 PHONE: (508) 786-2200 FAX: (508) 786-2201



APPLICANT:
 HANOVER R.S. LIMITED PARTNERSHIP
 1 MARINA PARK DRIVE
 SUITE 701
 BOSTON, MA 02210

ZONING CLASSIFICATION:
 MIXED-USE SUBZONE OF THE
 MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
 Proj. Loc.: Wilkens Lane, Hyannis, MA

Conceptual Site Plans
 Hanover Hyannis II

Erosion & Sediment Control Plan

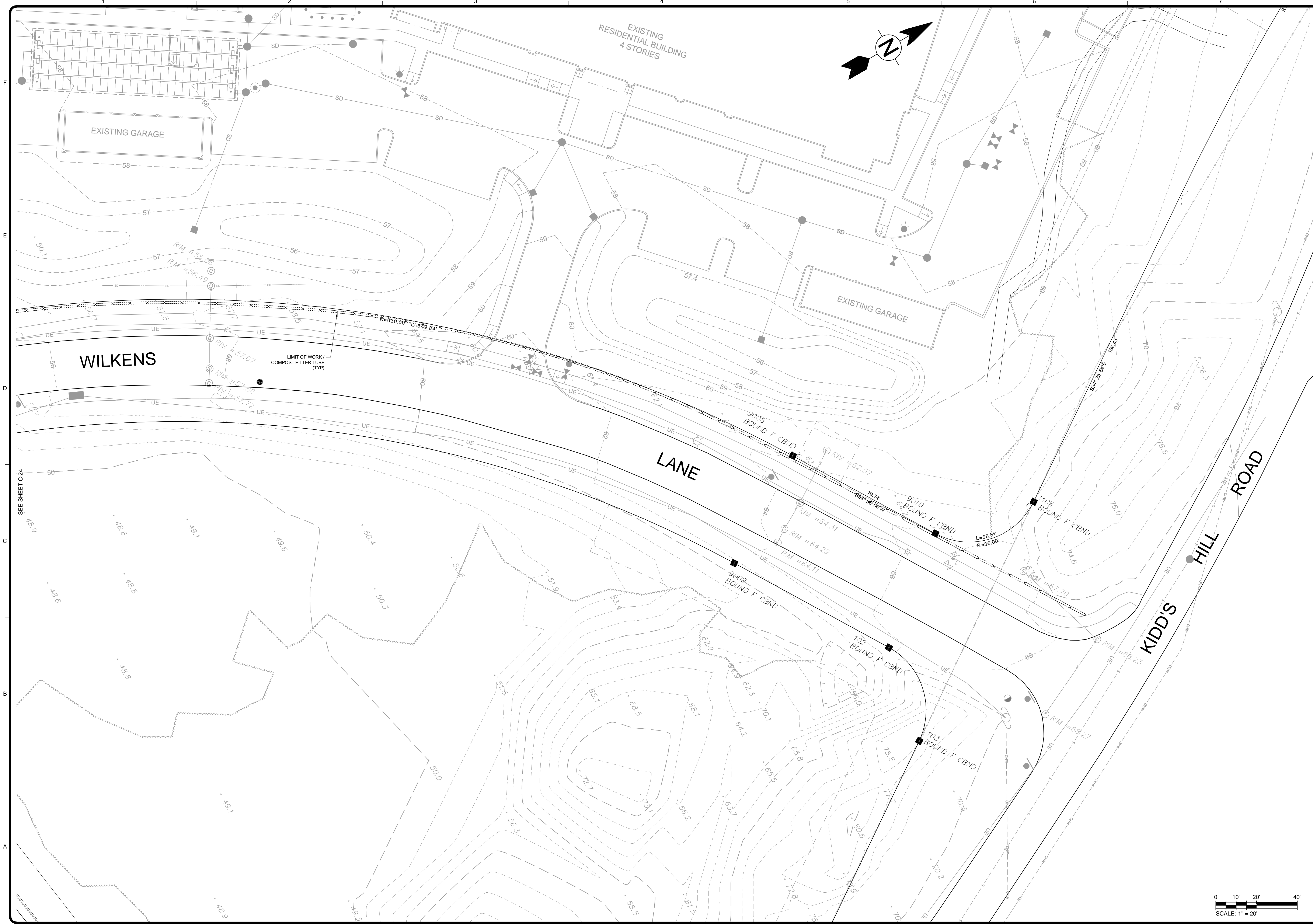
Project No.: 143-26700-2001
 Designed By: N.H.C.
 Drawn By: J.L.P.
 Checked By: N.H.C.

C-28

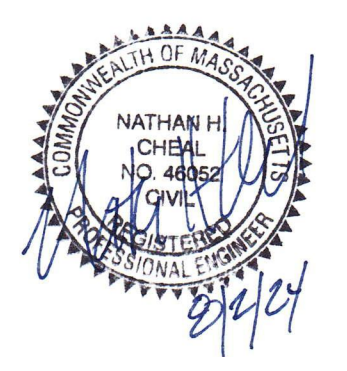
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Bar Measures 1 inch

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APPLICANT:
 HANOVER R.S. LIMITED PARTNERSHIP
 1 MARINA PARK DRIVE
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 BOSTON, MA 02210

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MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
 Proj. Loc.: Wilkens Lane, Hyannis, MA

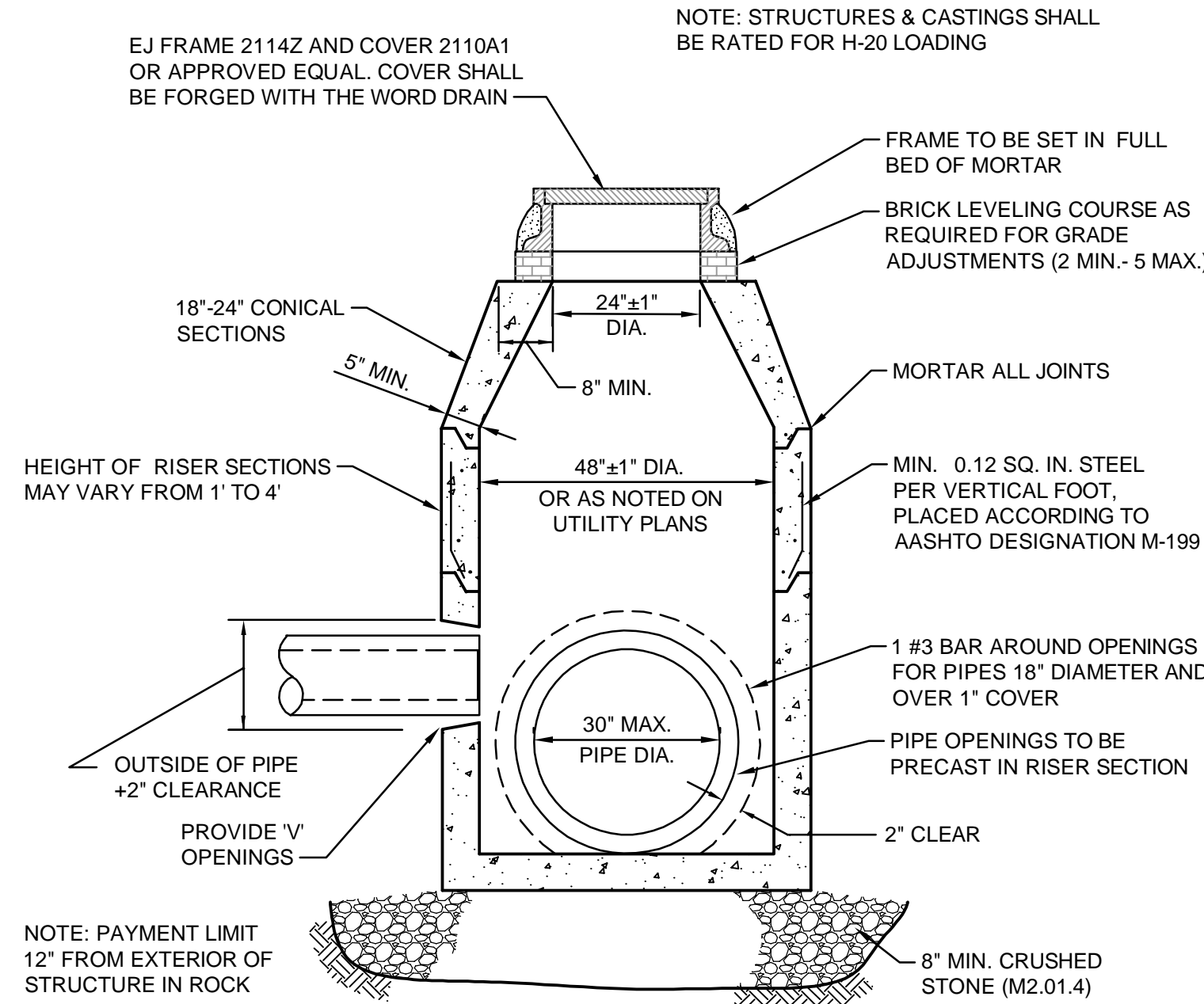
Conceptual Site Plans
 Hanover Hyannis II

Erosion & Sediment Control Plan

Project No.:	143-26700-20001
Designed By:	N.H.C.
Drawn By:	J.L.P.
Checked By:	N.H.C.

C-29

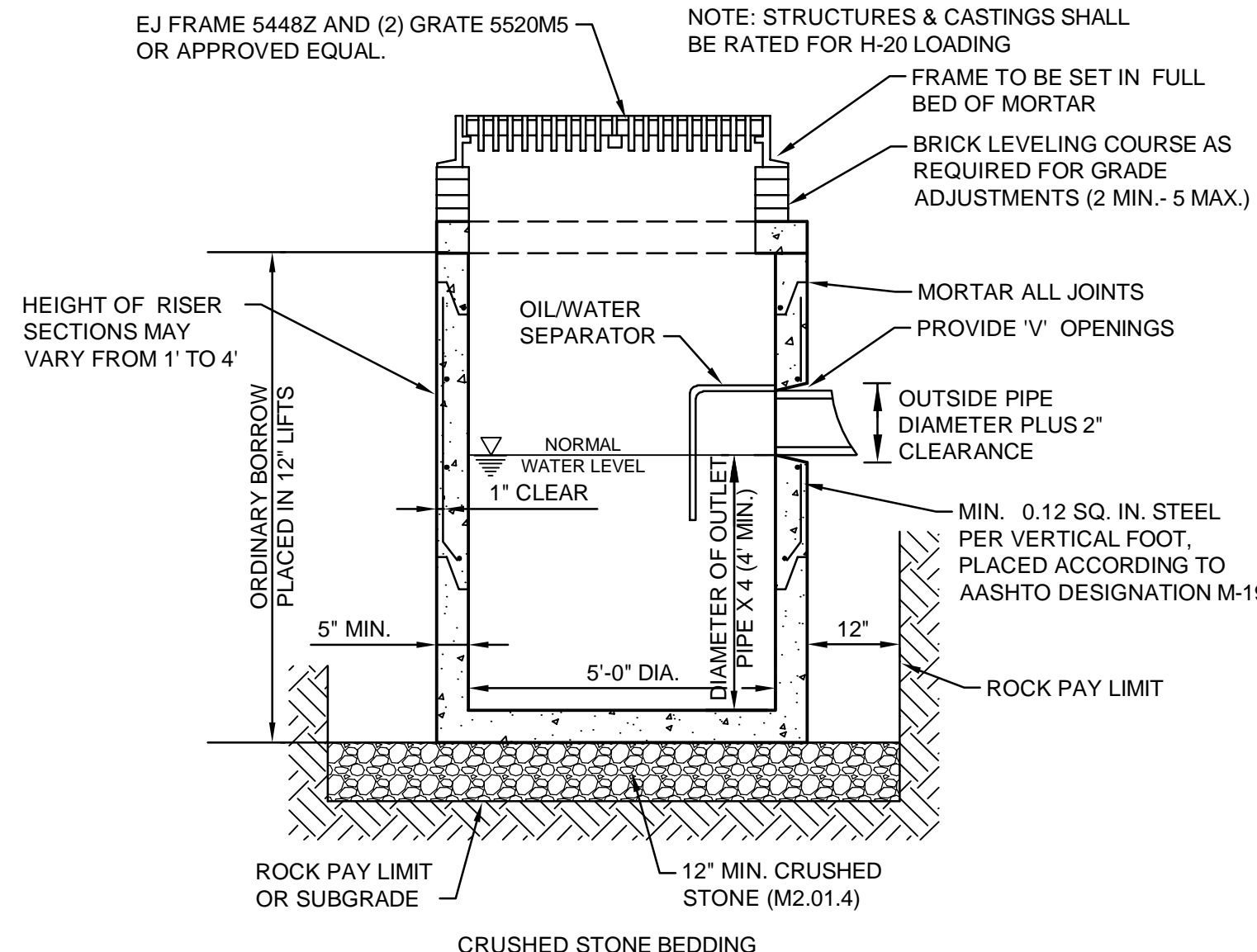
Copyright: Tetra Tech
 Bar Measures 1 inch



- NOTE: STRUCTURES & CASTINGS SHALL BE RATED FOR H-20 LOADING
- NOTE: PAYMENT LIMIT 12" FROM EXTERIOR OF STRUCTURE IN ROCK
- NOTES:
1. MANHOLE DIAMETER TO BE INCREASED AS REQUIRED TO ACCOMMODATE NUMBER OF PIPES ENTERING OR DISCHARGING FROM MANHOLE.
 2. STRUCTURE OPENING VOIDS, AFTER PIPE INSTALLATION, SHALL BE FILLED WITH NON-SHRINK WATERPROOF GROUT. GROUT TO BE COMPLETELY AROUND THE PIPE. GROUT SHALL BE SMOOTH AND PARALLEL TO INTERIOR AND EXTERIOR WALLS.
 3. CONCRETE = 4000 PSI MINIMUM, CEMENT PER ASTM C-478
 4. MANHOLE TO CONFORM TO LATEST ASTM C-478 SPECIFICATIONS FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS"
 5. STEEL REINFORCEMENT TO MEET OR EXCEED H20 LOADING.
 6. MANHOLE STEPS - POLYPROPYLENE COATED GRADE 60 REINFORCING BAR, PER ASTM C-478 & OSHA (STD 1-1.9)

PRECAST CONCRETE DRAIN MANHOLE

9 FEET OR LESS IN DEPTH
NOT TO SCALE



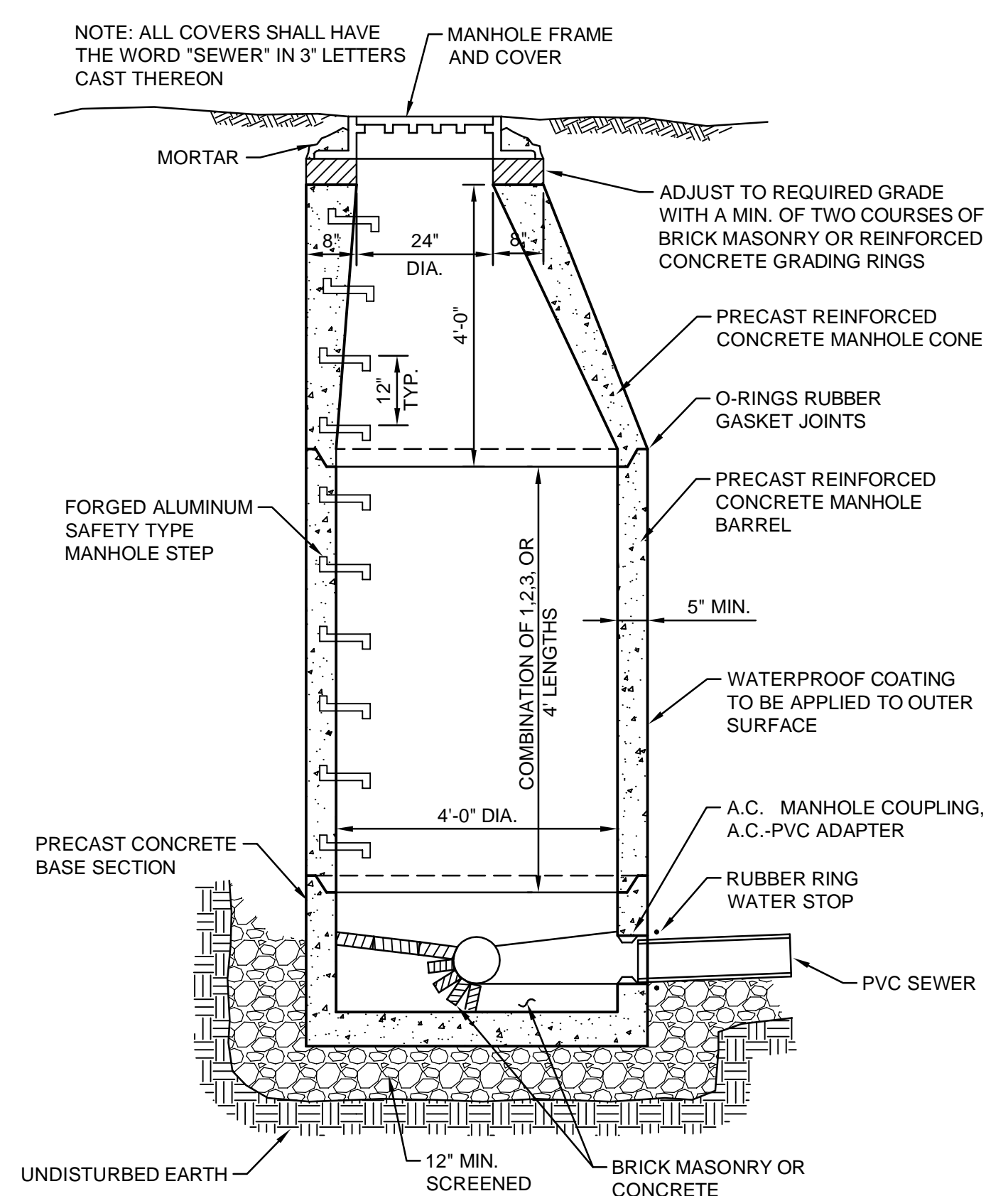
CRUSHED STONE BEDDING

SIEVE SIZE	% FINER BY WEIGHT
1"	100
3/4"	90 - 100
3/8"	20 - 55
# 4	0 - 10
# 8	0 - 5

- NOTE: DOUBLE-CURB INLETS SHALL BE USED AT ALL DOUBLE GRATE CATCH BASINS PROPOSED ALONG CURB LINES.

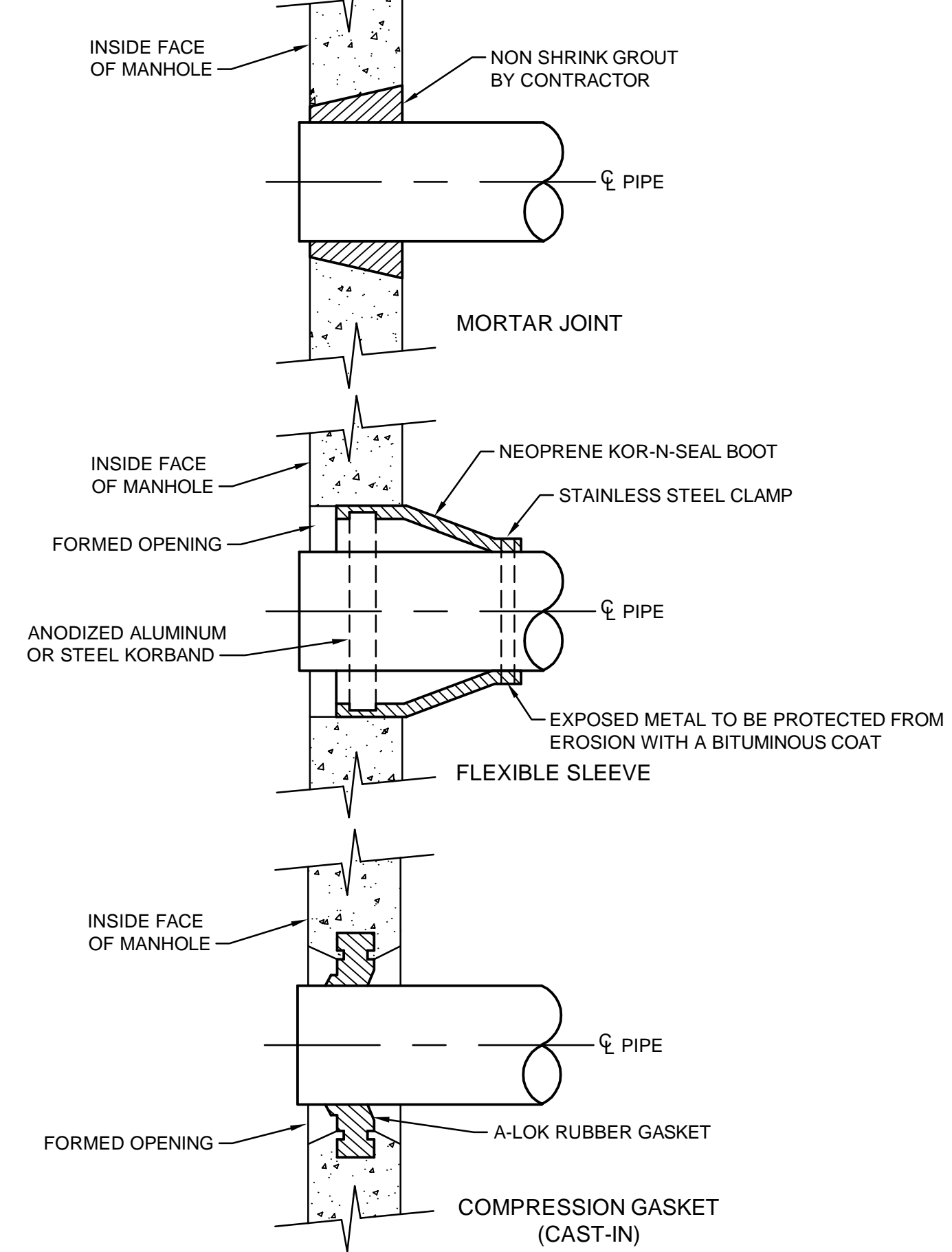
DOUBLE GRATE CONCRETE CATCH BASIN

NOT TO SCALE



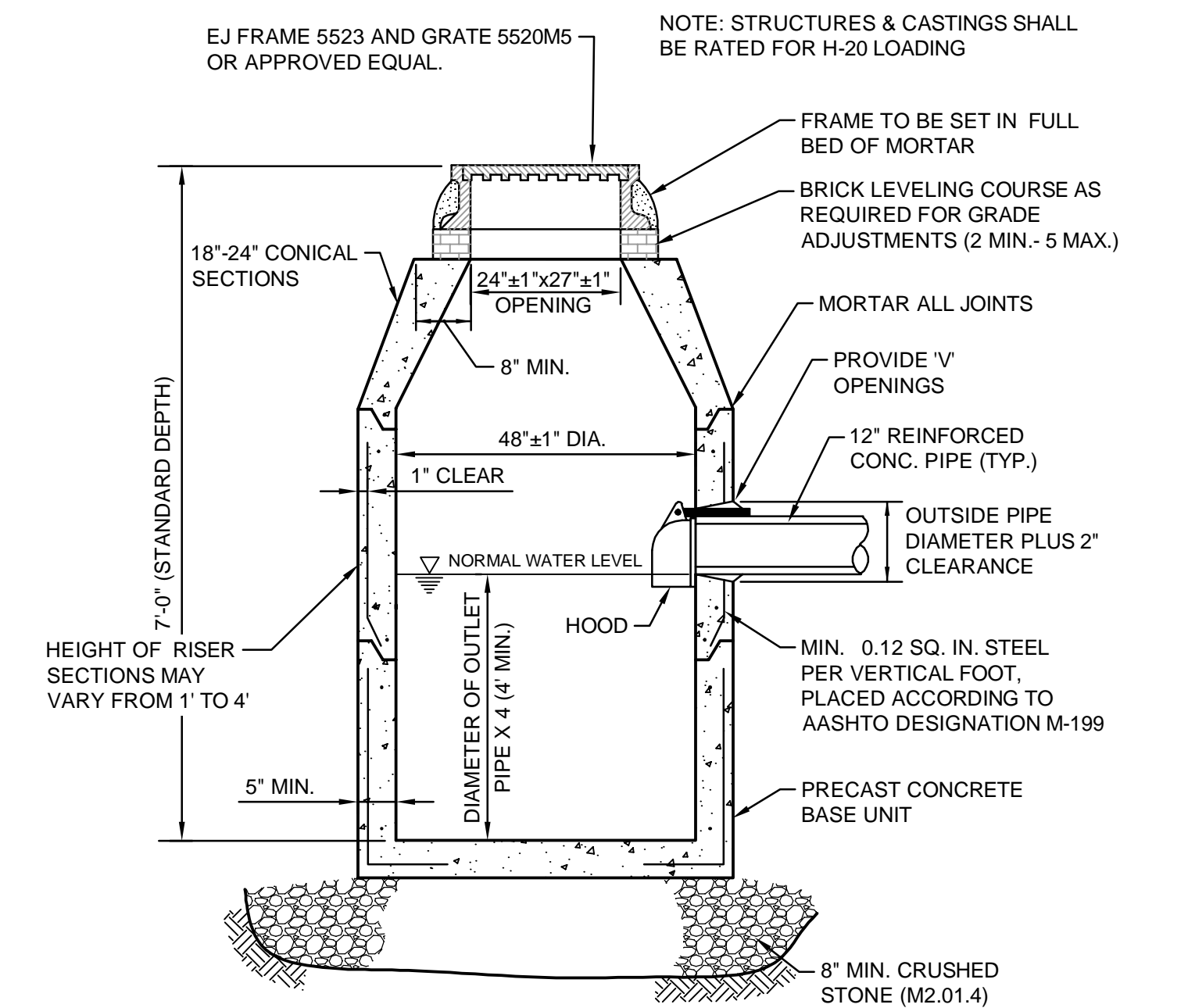
SEWER MANHOLE

NOT TO SCALE



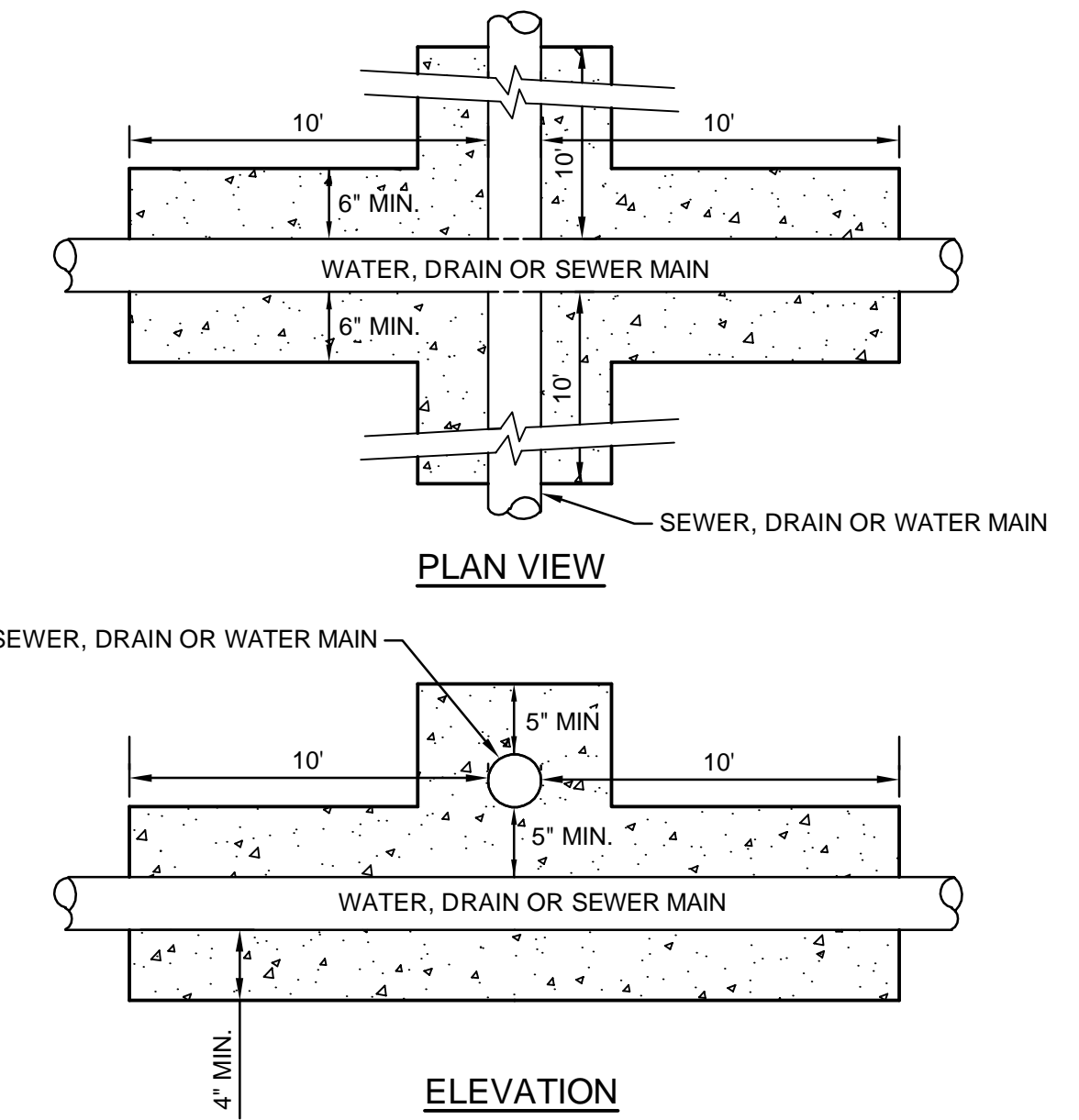
PIPE TO MANHOLE CONNECTIONS

NOT TO SCALE



PRECAST CONCRETE CATCH BASIN

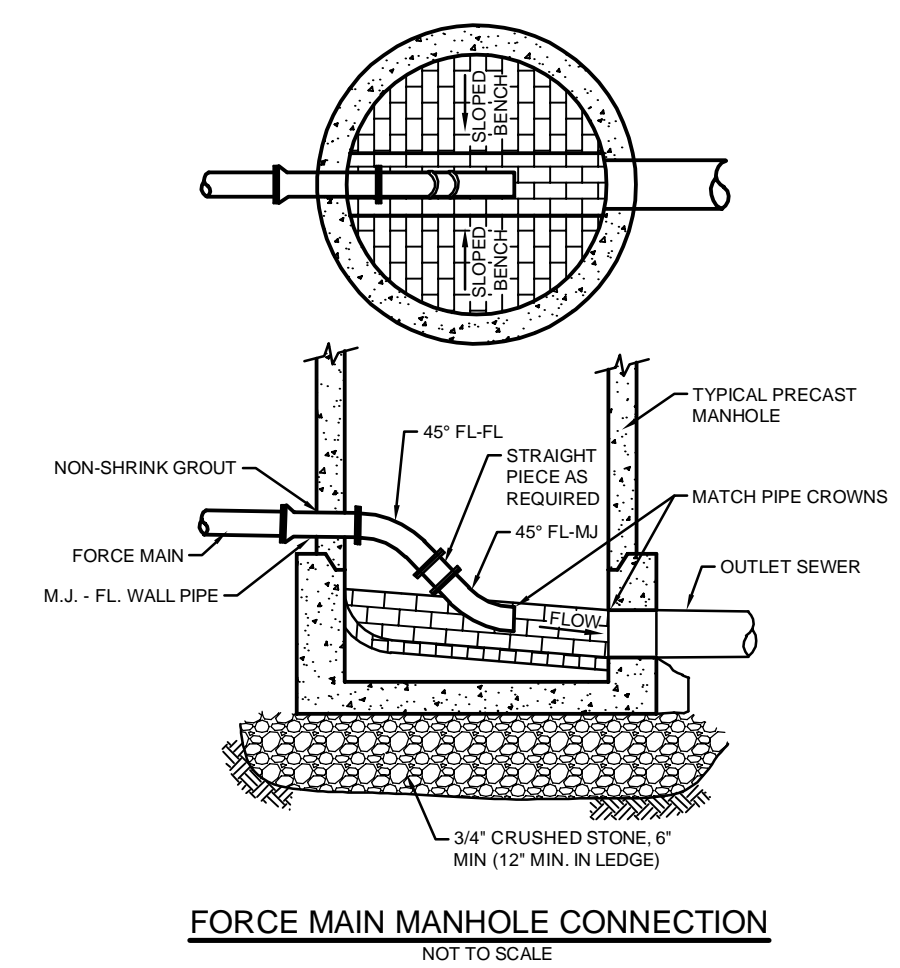
NOT TO SCALE



- NOTES:
1. WHENEVER POSSIBLE WATER MAINS DRAIN LINES CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 36" BETWEEN THE OUTSIDE OF THE WATER MAIN OR DRAIN LINE AND THE OUTSIDE OF THE SEWER.
 2. SHOULD LOCAL CONDITIONS PREVENT AN 36" SEPARATION, BOTH THE WATER MAIN OR DRAIN LINE AND THE SEWER SHALL BE ENCASED IN CONCRETE ON EITHER SIDE OF THE CROSSING (SEE DETAIL).
 3. WHEREVER POSSIBLE, THE WATER MAIN OR DRAIN LINE SHALL BE LAID ABOVE THE SEWER.

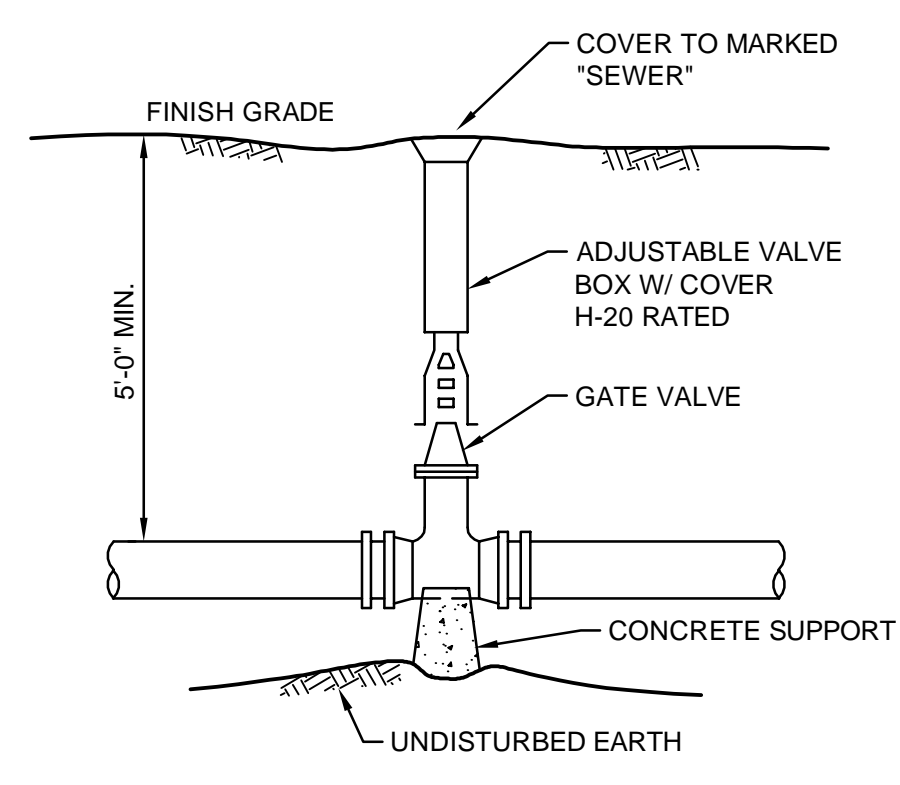
CONCRETE ENCASED SEWER AND WATER/DRAIN CROSSING

NOT TO SCALE



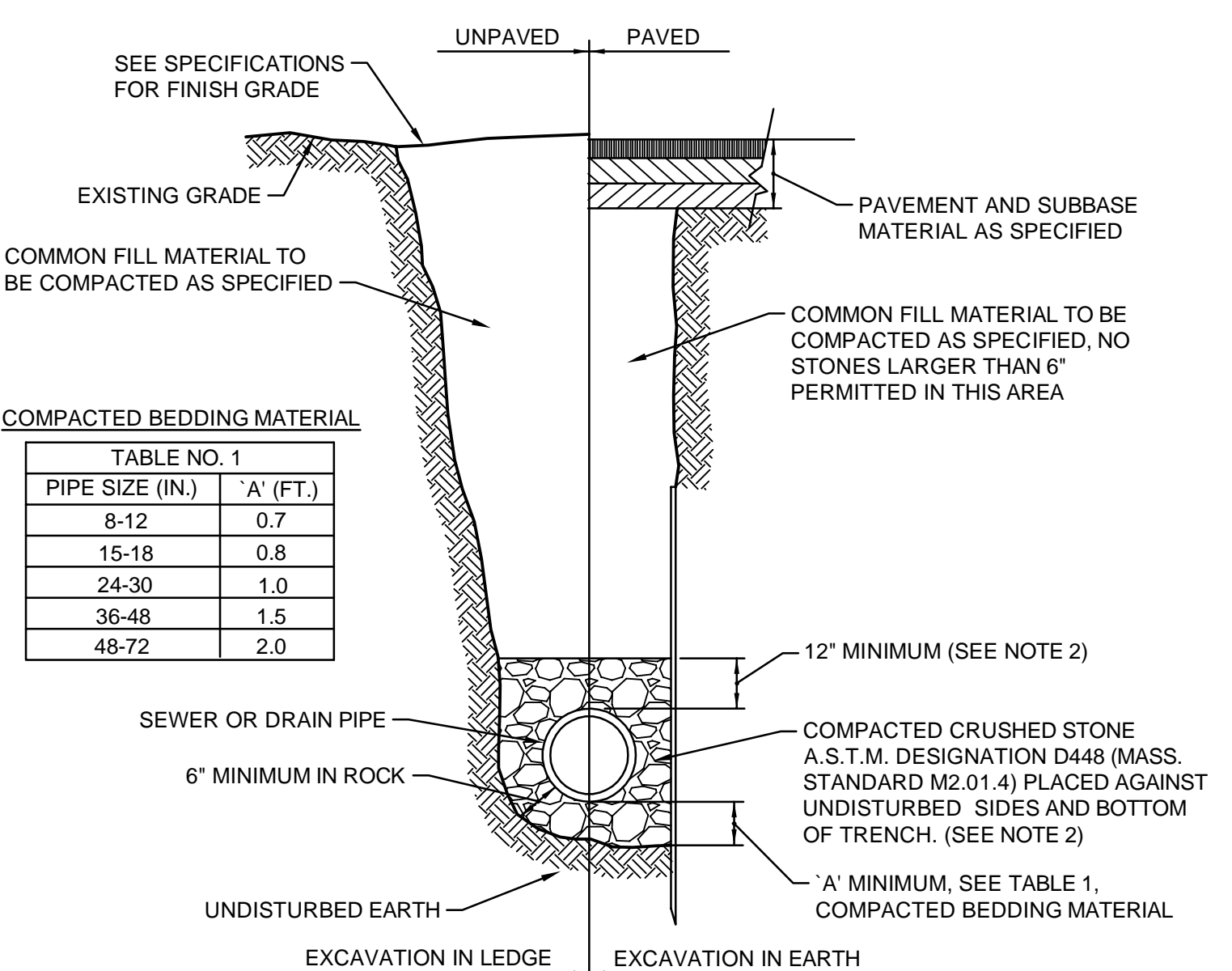
FORCE MAIN MANHOLE CONNECTION

NOT TO SCALE



FORCEMAIN GATE VALVE

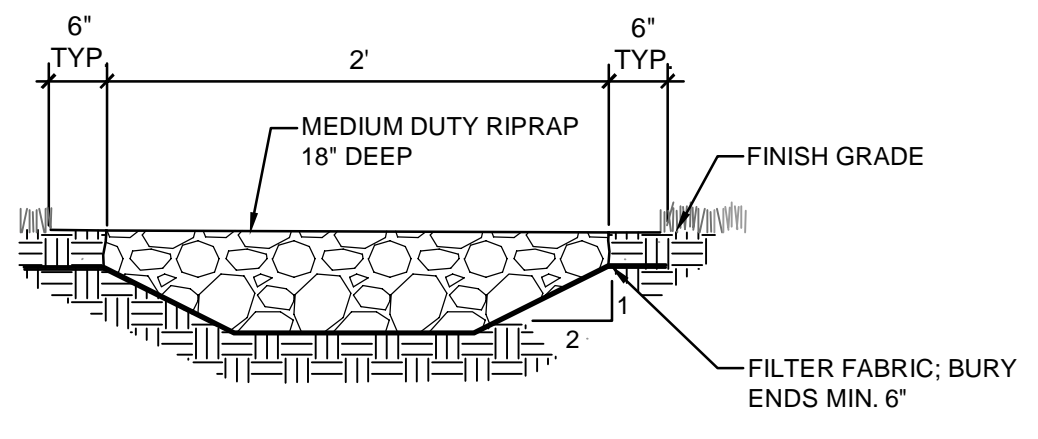
NOT TO SCALE



SEWER AND DRAIN TRENCH (PVC OR RCP)

NOT TO SCALE

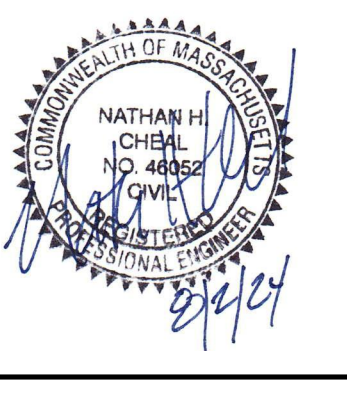
- NOTES:
1. SHEETING, WHEN REQUIRED, TO BE CUT OFF AT LEAST 5 FEET BELOW STREET AND A MINIMUM OF 1 FOOT ABOVE TOP OF PIPE. WOOD SHEETING DRIVEN BELOW MID-DIAMETER OF THE PIPE SHALL BE LEFT IN PLACE. STEEL SHEETING DRIVEN BELOW MID-DIAMETER MAY BE WITHDRAWN IF APPROVED IN WRITING BY THE ENGINEER. FOR PVC PIPE ALL SHEETING DRIVEN BELOW MID-DIAMETER SHALL BE LEFT IN PLACE.
 2. WHEN APPROVED BY THE ENGINEER FOR PIPES OTHER THAN PVC SELECTED GRAVEL FILL MATERIAL MAY BE USED FROM MID-DIAMETER OF PIPE TO 12" ABOVE TOP OF PIPE. NO STONES LARGER THAN 2 INCHES IN ANY DIMENSION WILL BE PERMITTED IN THIS AREA - MASSACHUSETTS STATE MATERIAL STANDARD M1.03.0 TYPE C.
 3. TRENCHES LOCATED ON THE ROAD SHOULDER SHALL BE TREATED THE SAME EXCEPT FOR PAVING.
 4. PROVIDE AT LEAST ONE IMPERVIOUS DAM IN GRAVEL BEDDING BETWEEN EACH MANHOLE WHERE DIRECTED, OR EVERY 300 FEET, WHICHEVER IS LESS.
 5. BEDDING MATERIAL FOR PVC PIPE SHALL MEET THE REQUIREMENTS OF ASTM D2321 CLASS I OR CLASS II EMBEDMENT MATERIALS.



RIPRAP SWALE

NOT TO SCALE

- RIP-RAP SPECIFICATIONS:
1. MEDIAN STONE DIAMETER = 6"; 50% BY WEIGHT OF RIPRAP MIXTURE TO BE 6"; 25% TO BE 9"; 25% TO BE 3".
 2. RIPRAP STONE TO BE CLEAN WASHED STONE.
 3. FILTER FABRIC TO BE MIRAFI 140N, BY MIRAFI, INC.



APPLICANT:
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1 MARINA PARK DRIVE
SUITE 101
BOSTON, MA 02210

ZONING CLASSIFICATION:
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MEDICAL SERVICES OVERLAY DISTRICT

BY

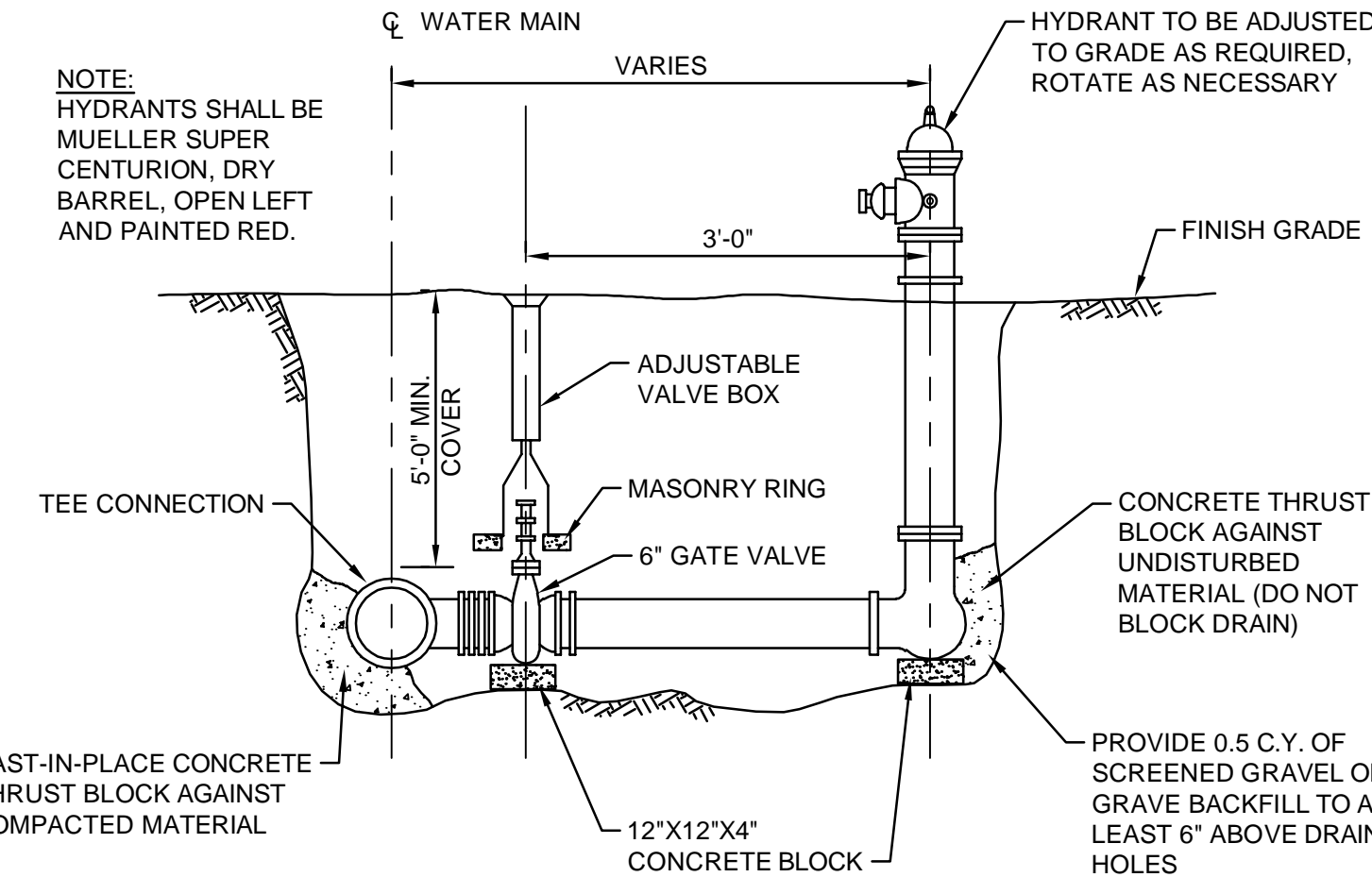
MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA
Conceptual Site Plans
Hanover Hyannis II

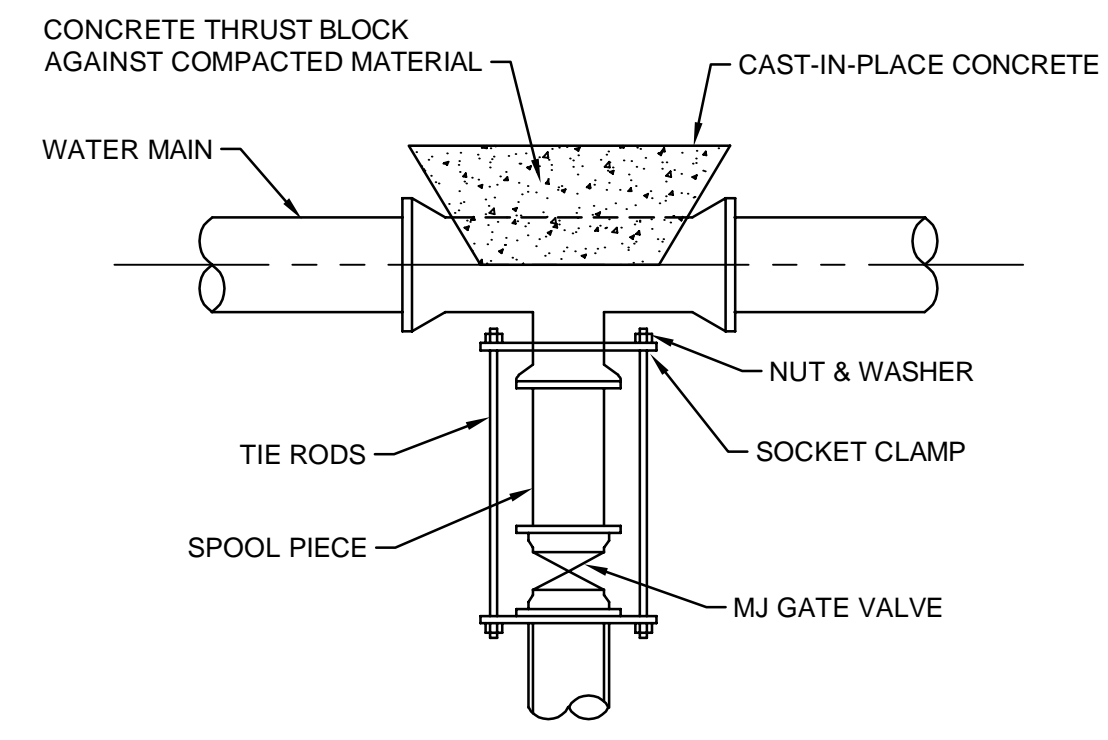
Project No.: 143-26700-2001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

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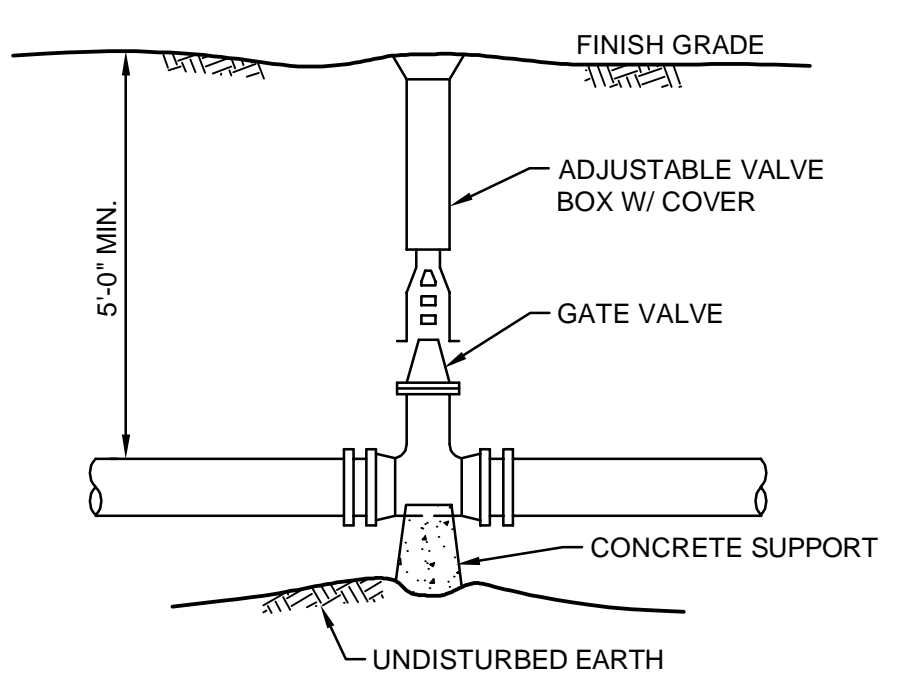
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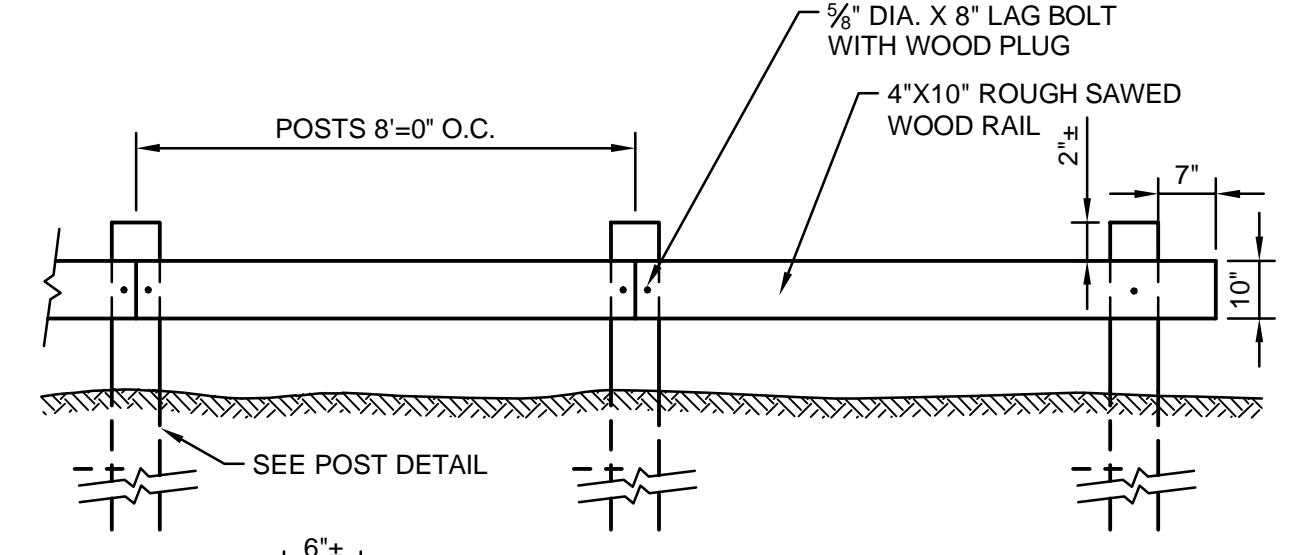
TYPICAL HYDRANT AND VALVE
NOT TO SCALE



TYPICAL VALVE CONNECTION RESTRAINED JOINT TEE
NOT TO SCALE

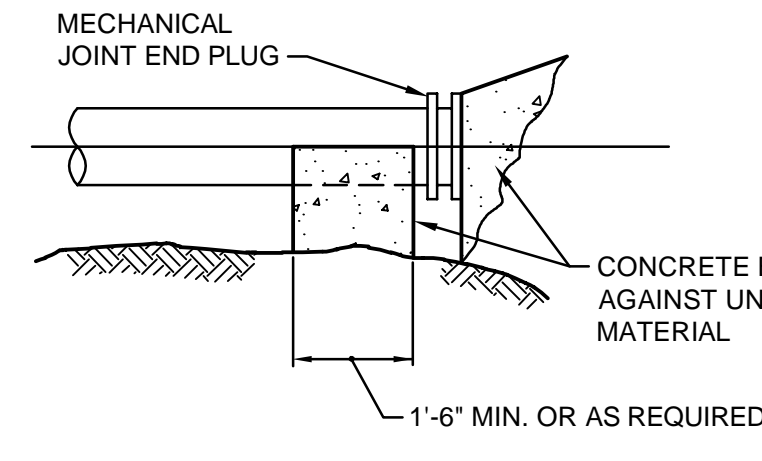


TYPICAL GATE VALVE
NOT TO SCALE

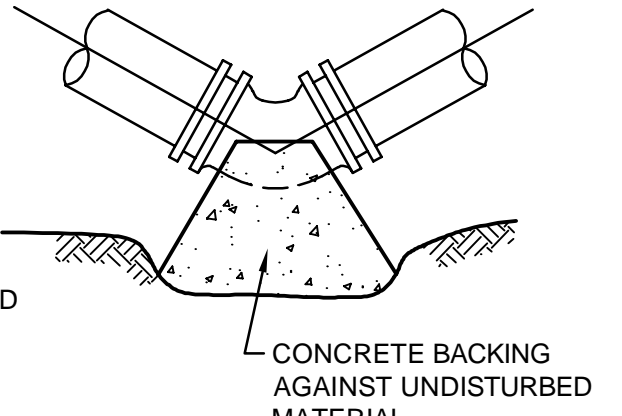


WOOD VEHICULAR GUARDRAIL
NOT TO SCALE

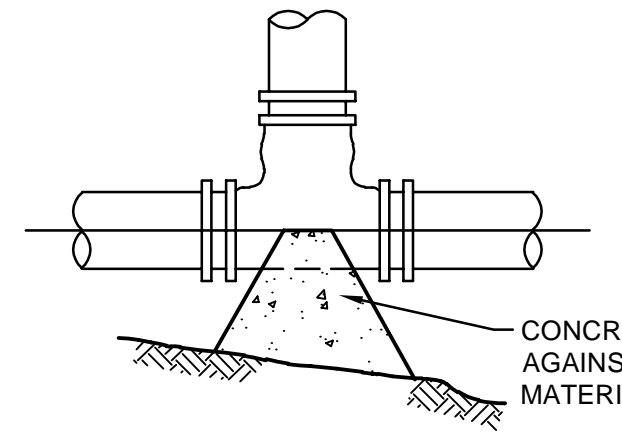
NOTES:
1. ALL TIMBER TO BE PRESSURE TREATED.
2. POSTS TO BE SPACED CLOSER THAN 8'-0" ON CENTER AS REQUIRED TO MAINTAIN LOCATION OF GUARD RAIL ALONG EDGE OF DRIVE



TYPICAL PLUG



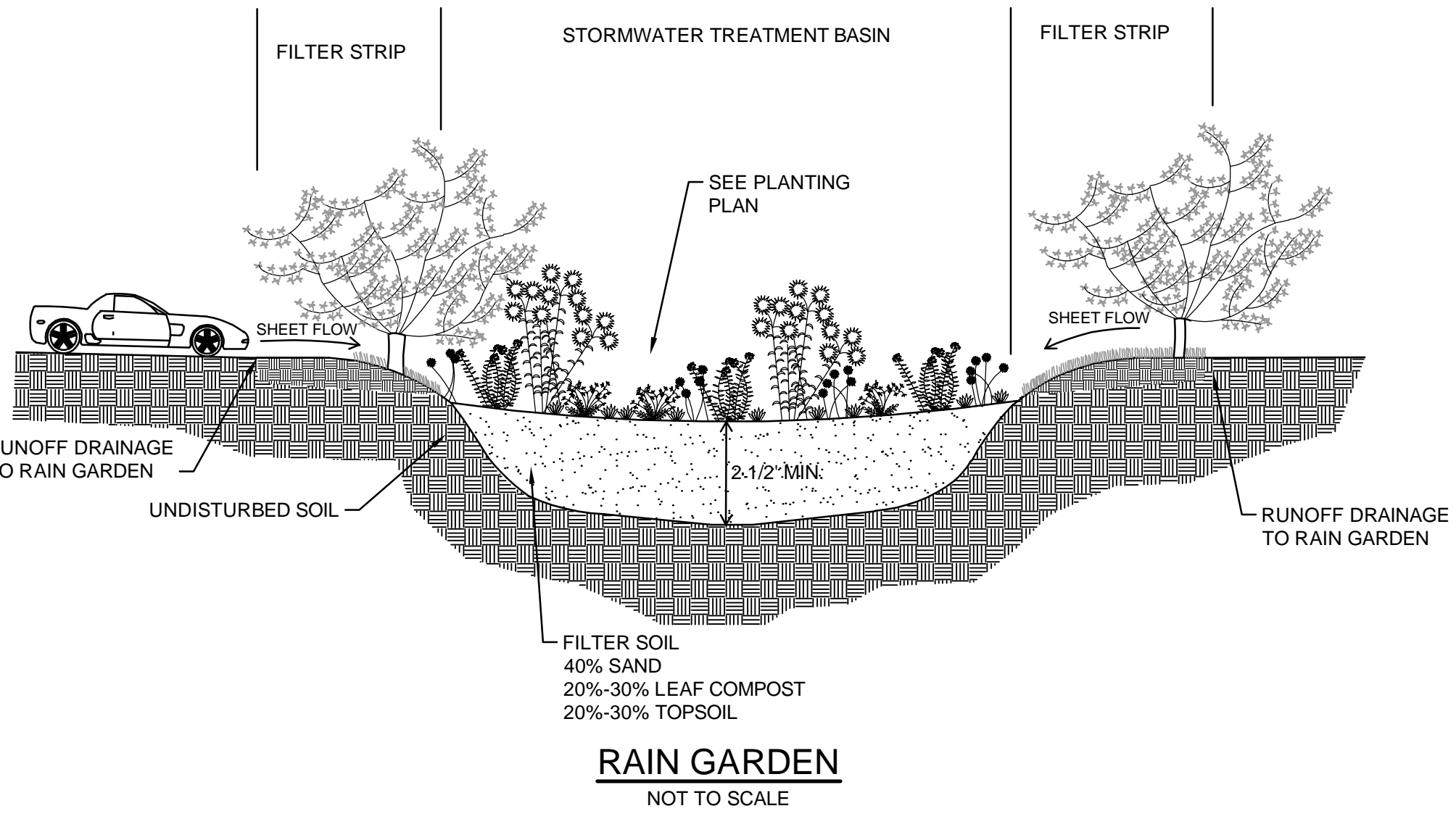
TYPICAL BEND



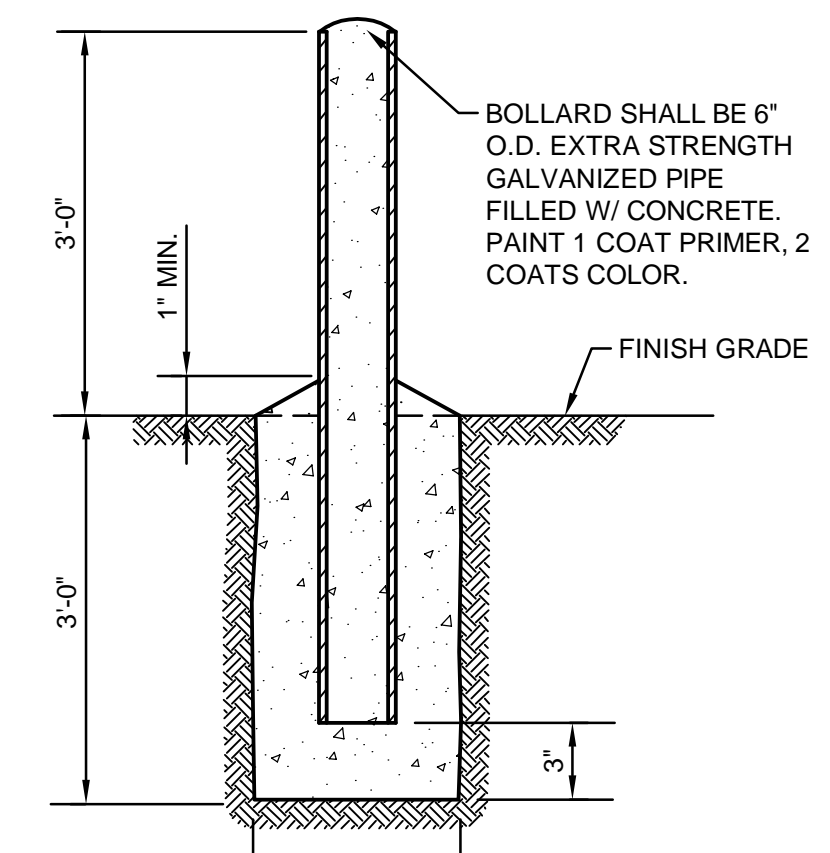
TYPICAL TEE

TABLE OF BEARING AREAS IN SQUARE FEET AGAINST UNDISTURBED MATERIAL FOR WATER MAIN FITTINGS			
SIZE OF MAIN (IN.)	45° BEND	TEES & PLUGS	22 1/2° BEND
8" & LESS	4	5	2
10"	6	8	3
12"	9	12	5
16"	12	16	7

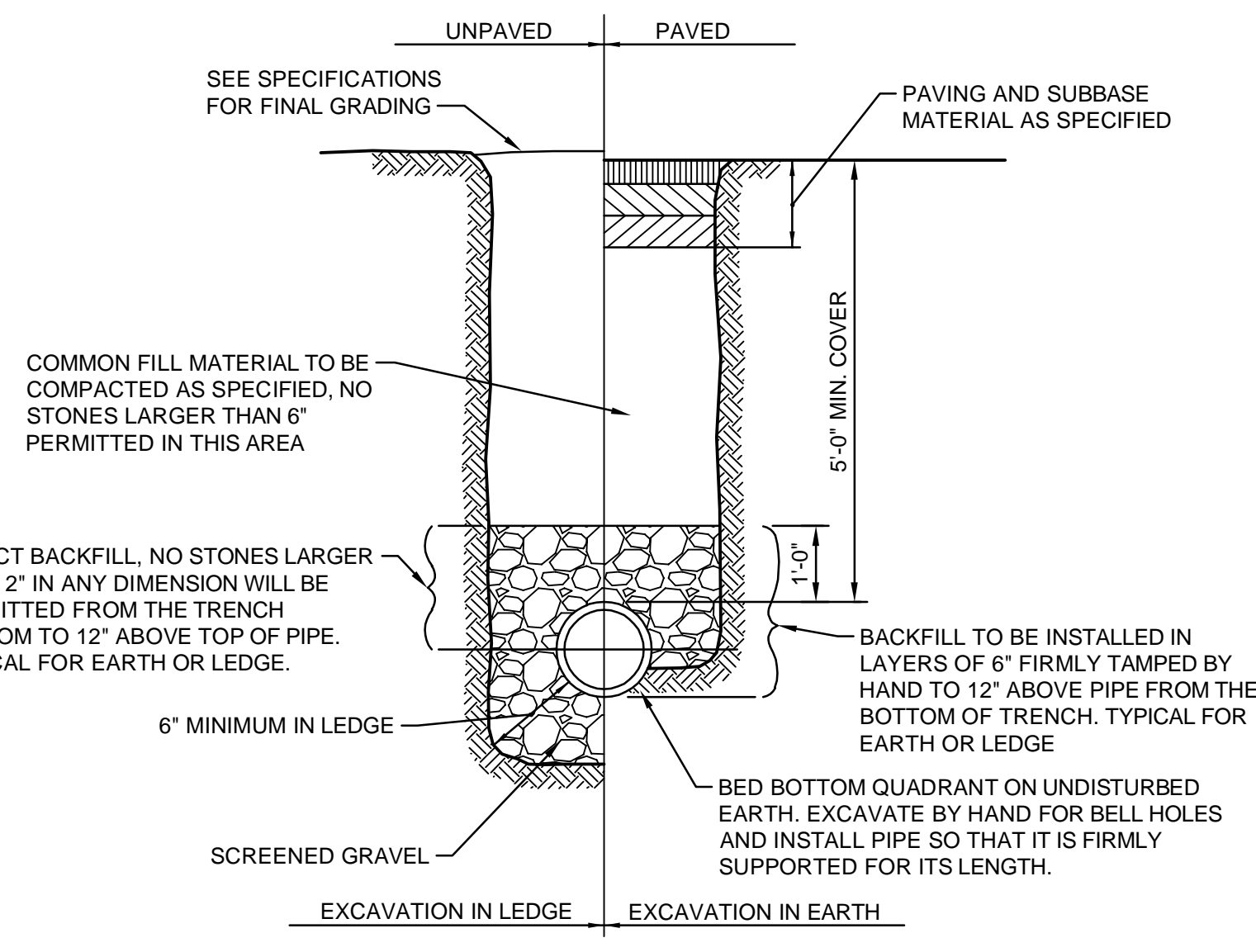
CONCRETE THRUST BLOCKS
NOT TO SCALE



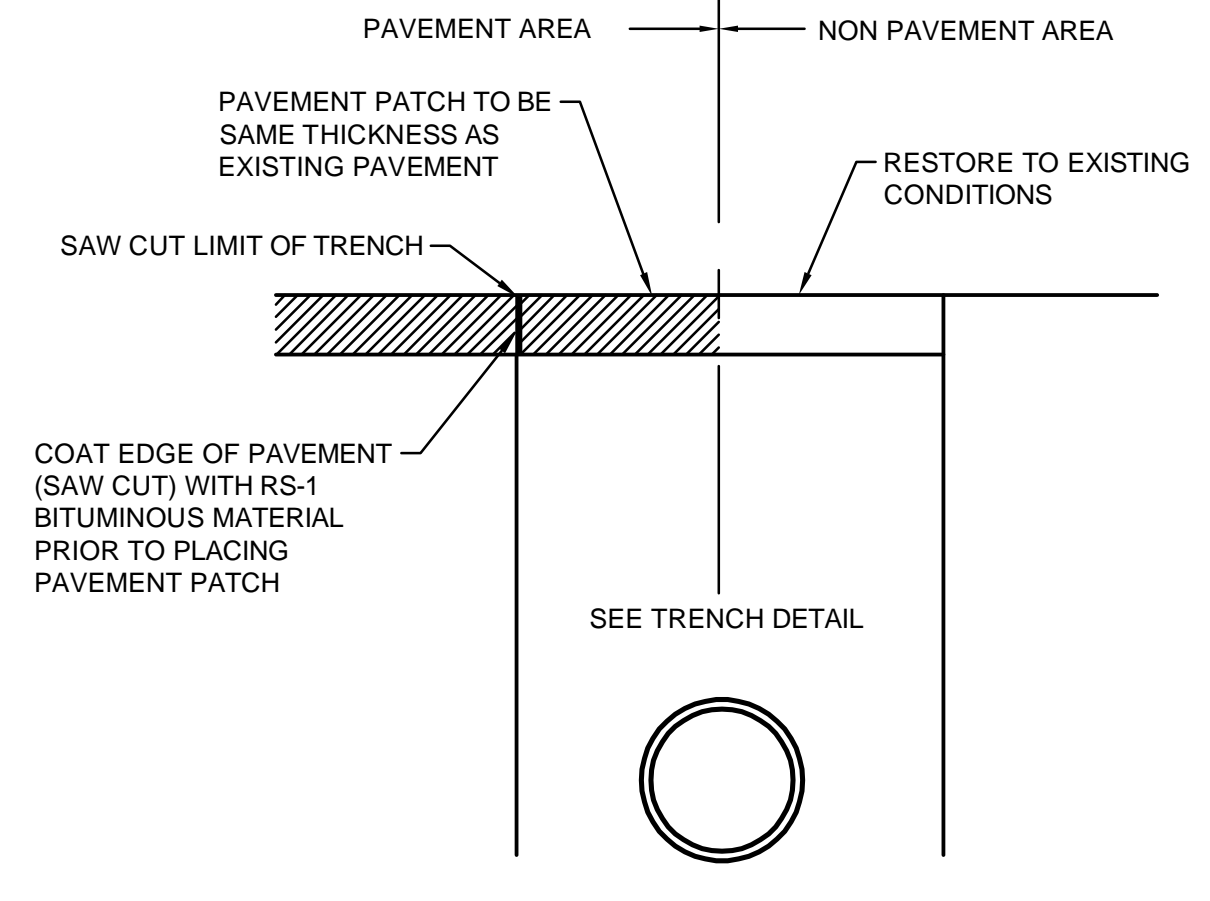
RAIN GARDEN
NOT TO SCALE



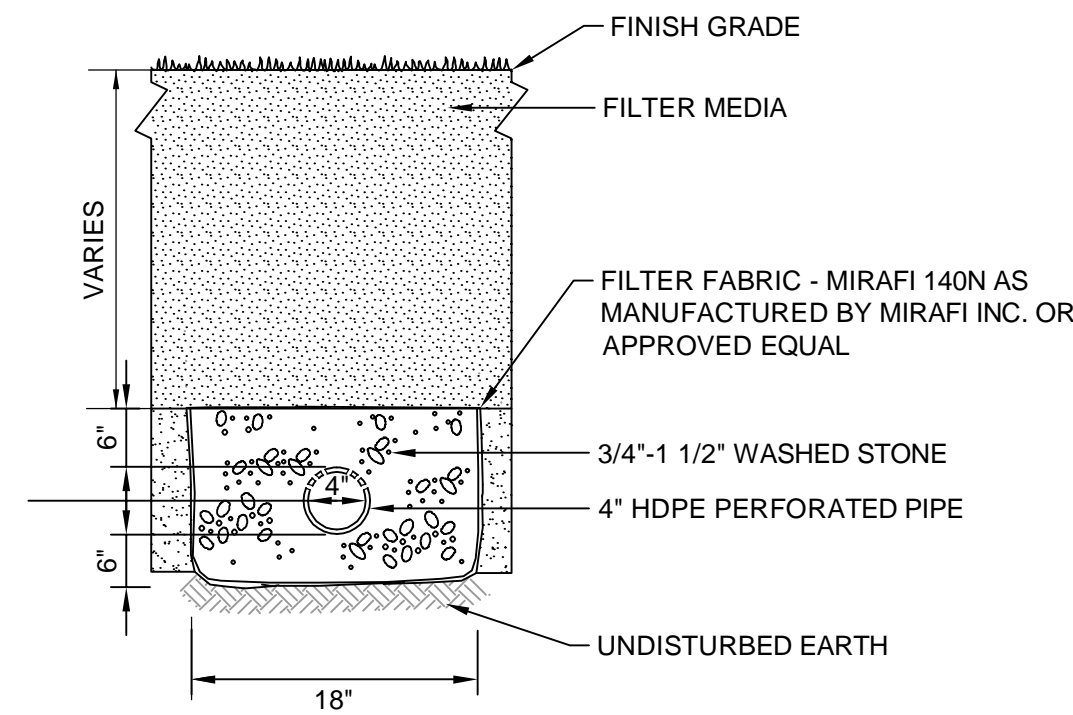
BOLLARD
NOT TO SCALE



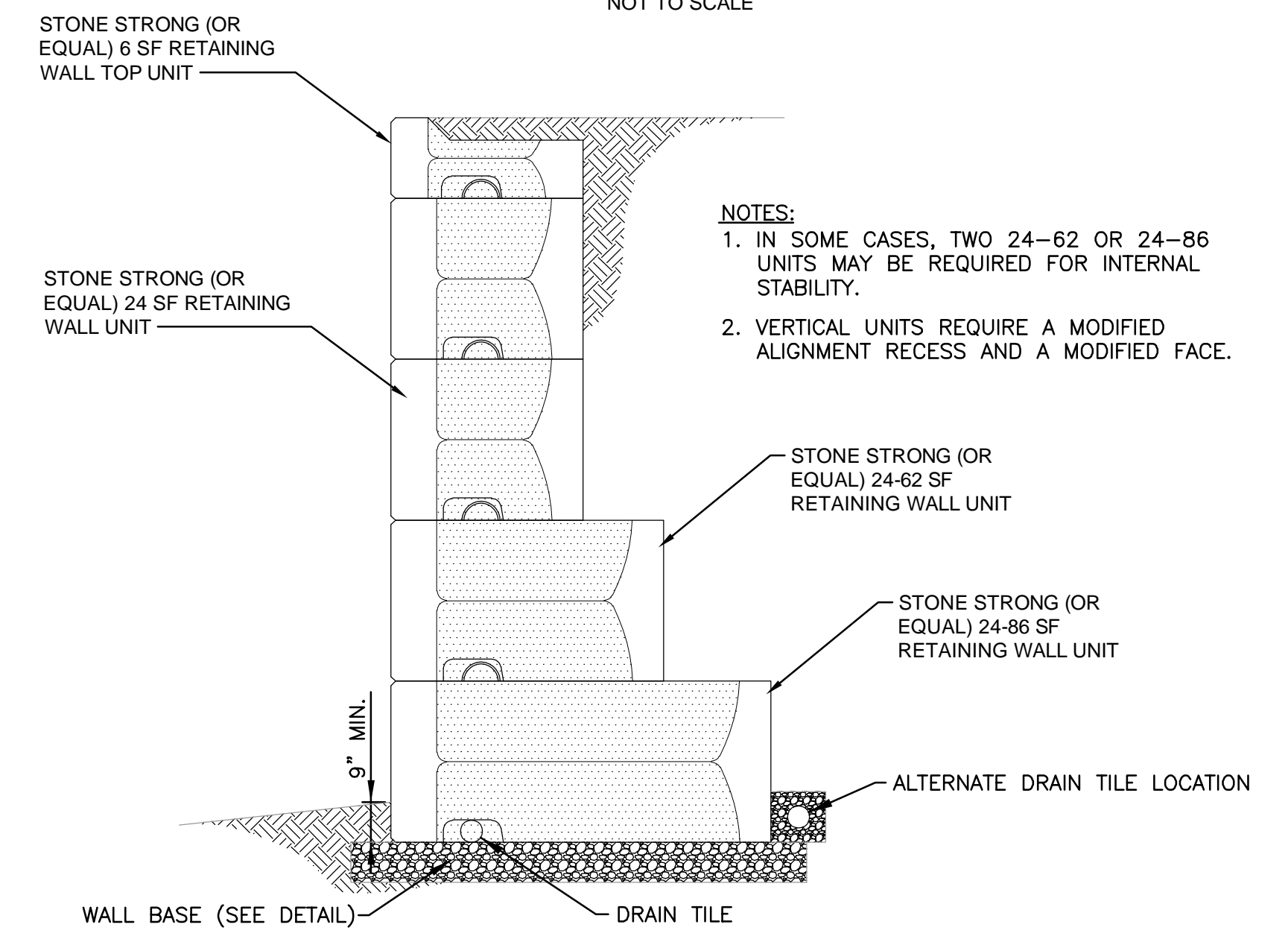
CEMENT LINED DUCTILE IRON (CLDI) PIPE TRENCH
NOT TO SCALE



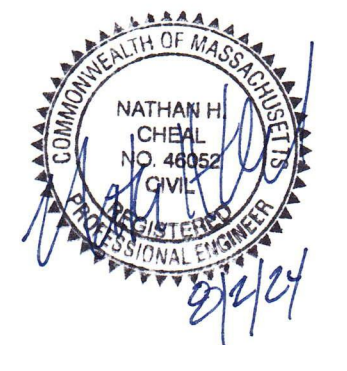
PAVEMENT PATCH
NOT TO SCALE



UNDERDRAIN DETAIL
NOT TO SCALE



TYPICAL GRAVITY WALL CROSS SECTION WITH HD BASE UNITS
(CONSTRUCTION DESIGN DRAWINGS BY OTHERS)
NOT TO SCALE



APPLICANT: HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210
ZONING CLASSIFICATION: MIXED-USE SUBZONE OF THE MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

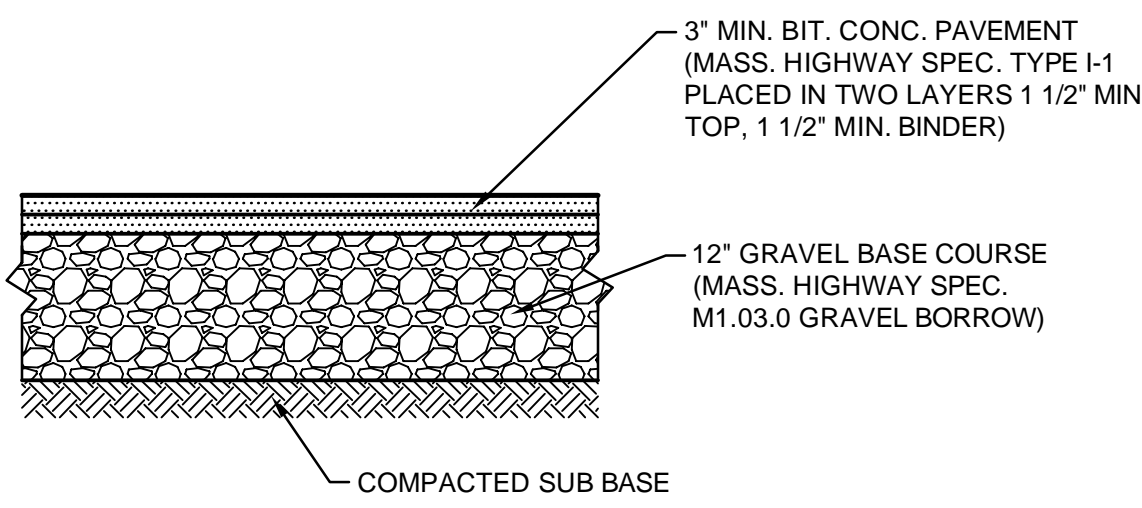
Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA
Conceptual Site Plans
Hanover Hyannis II

Project No.: 143-26700-2001
Designed By: N.H.C.
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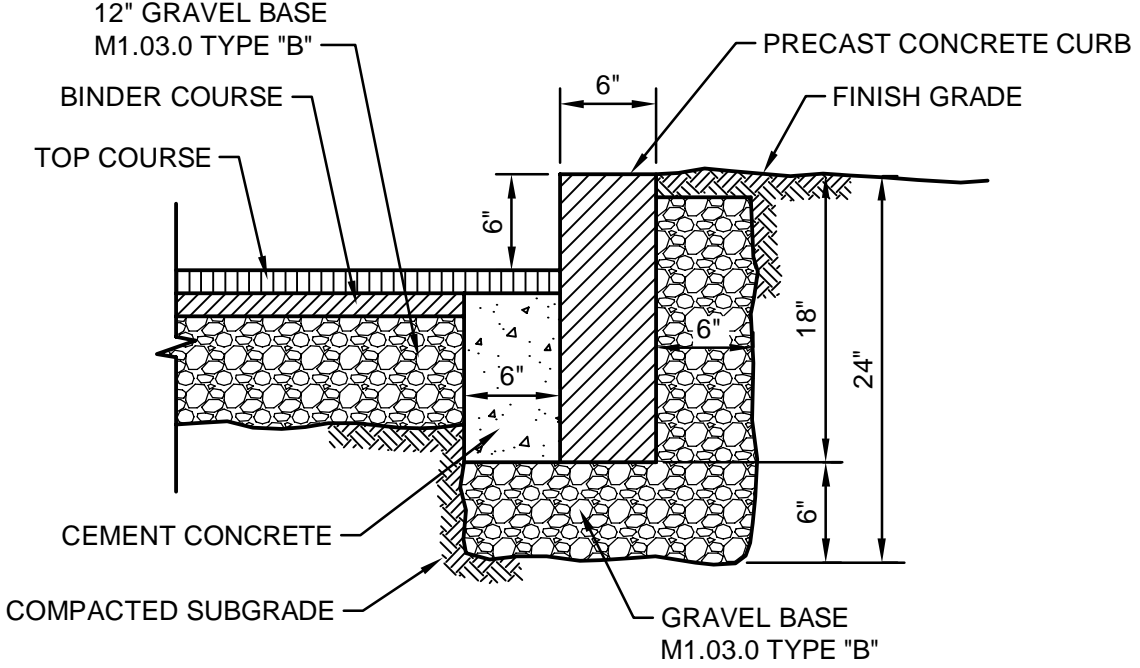
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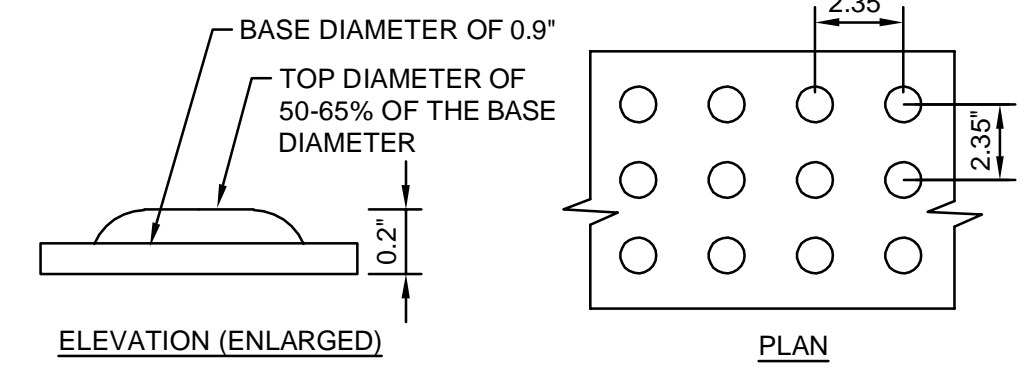
Bar Measures 1 inch



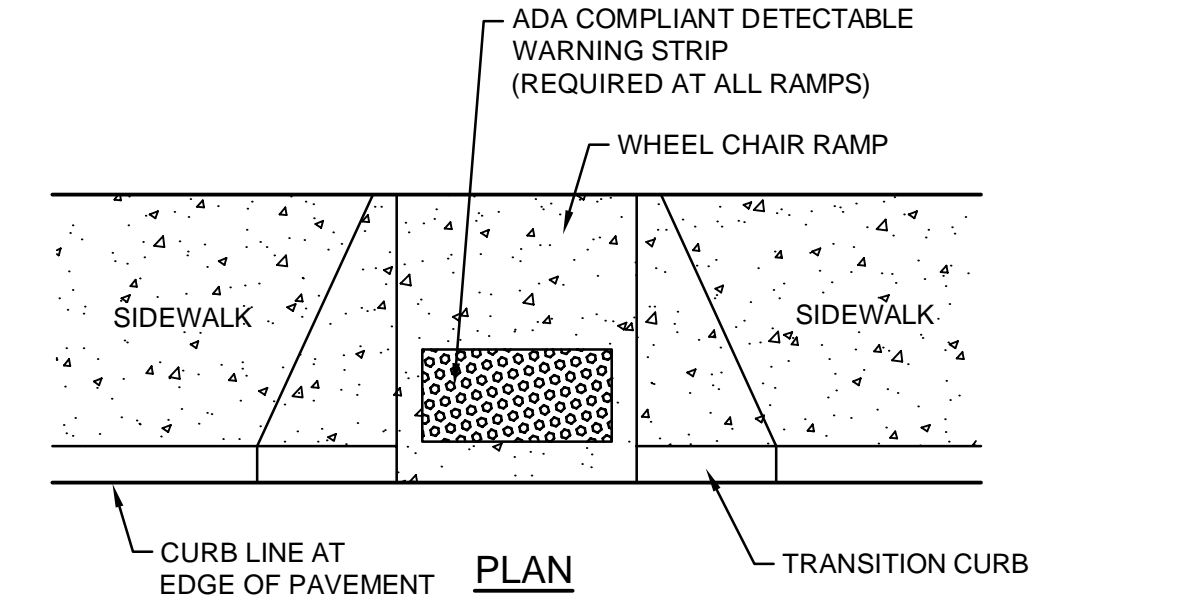
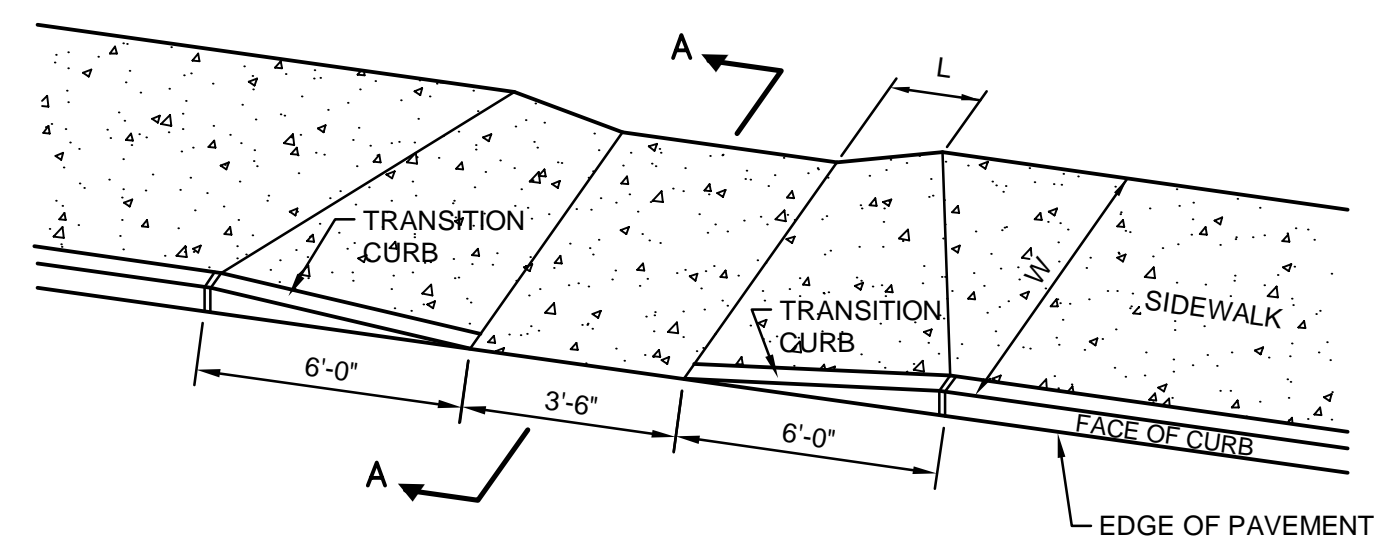
PAVEMENT SECTION
NOT TO SCALE



PRECAST CONCRETE CURB
NOT TO SCALE

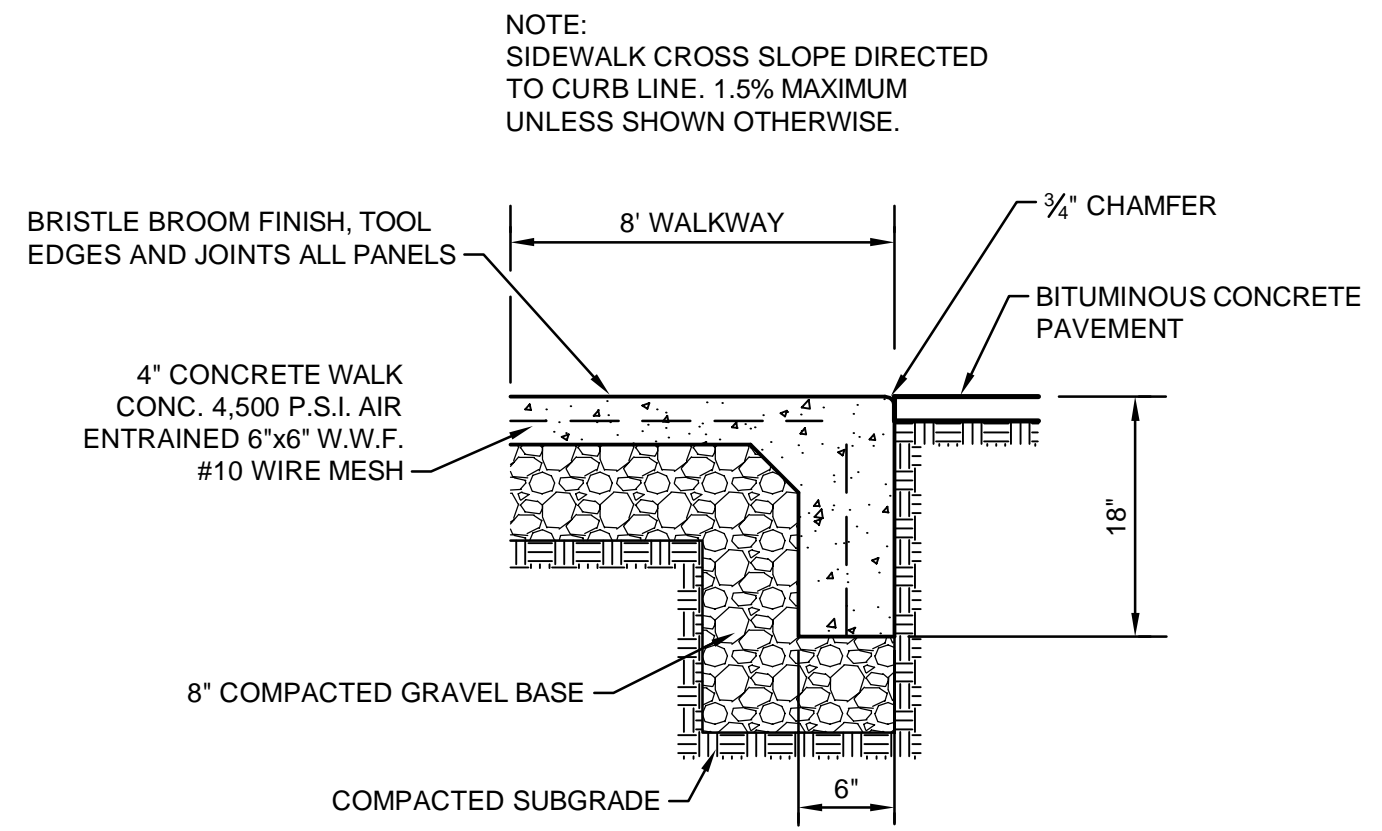


DETECTABLE WARNING - TRUNCATED DOMES
NOT TO SCALE

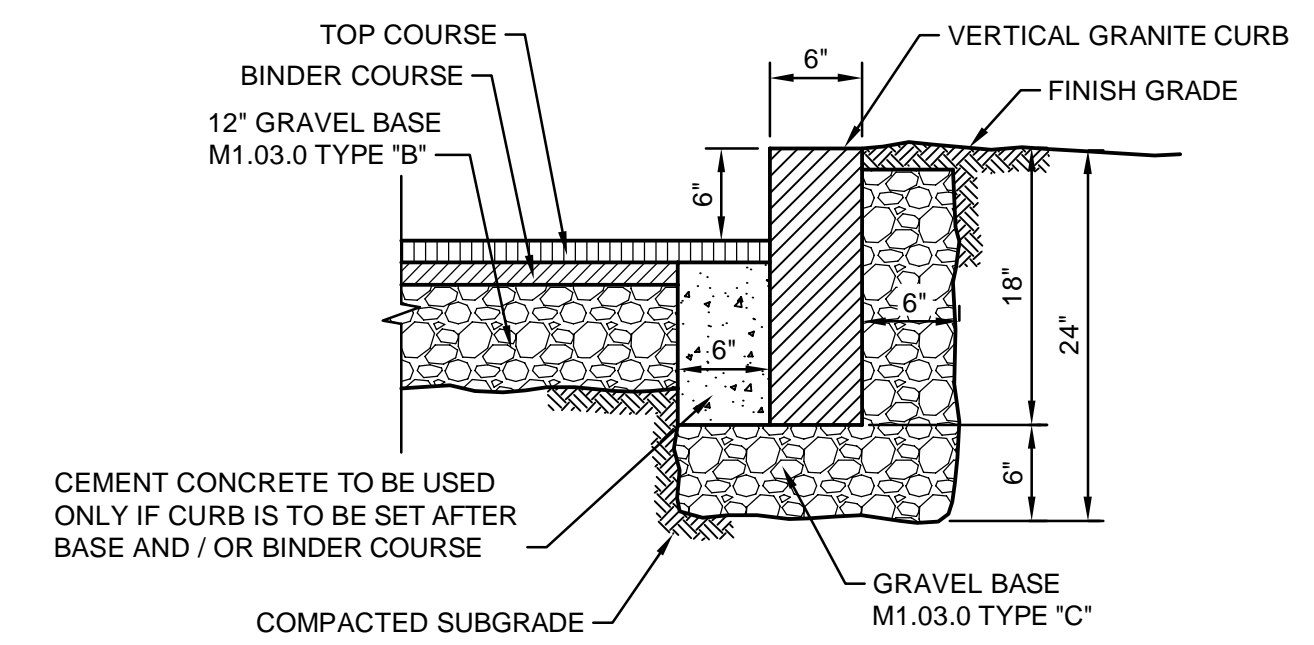


W	L	S.Y.
4'-0"	3'-6"±	5.2
5'-0"	2'-9"±	6.3
6'-0"	2'-0"±	7.2
7'-0"	1'-3"±	8.0
8'-0"	0'-0"	8.1

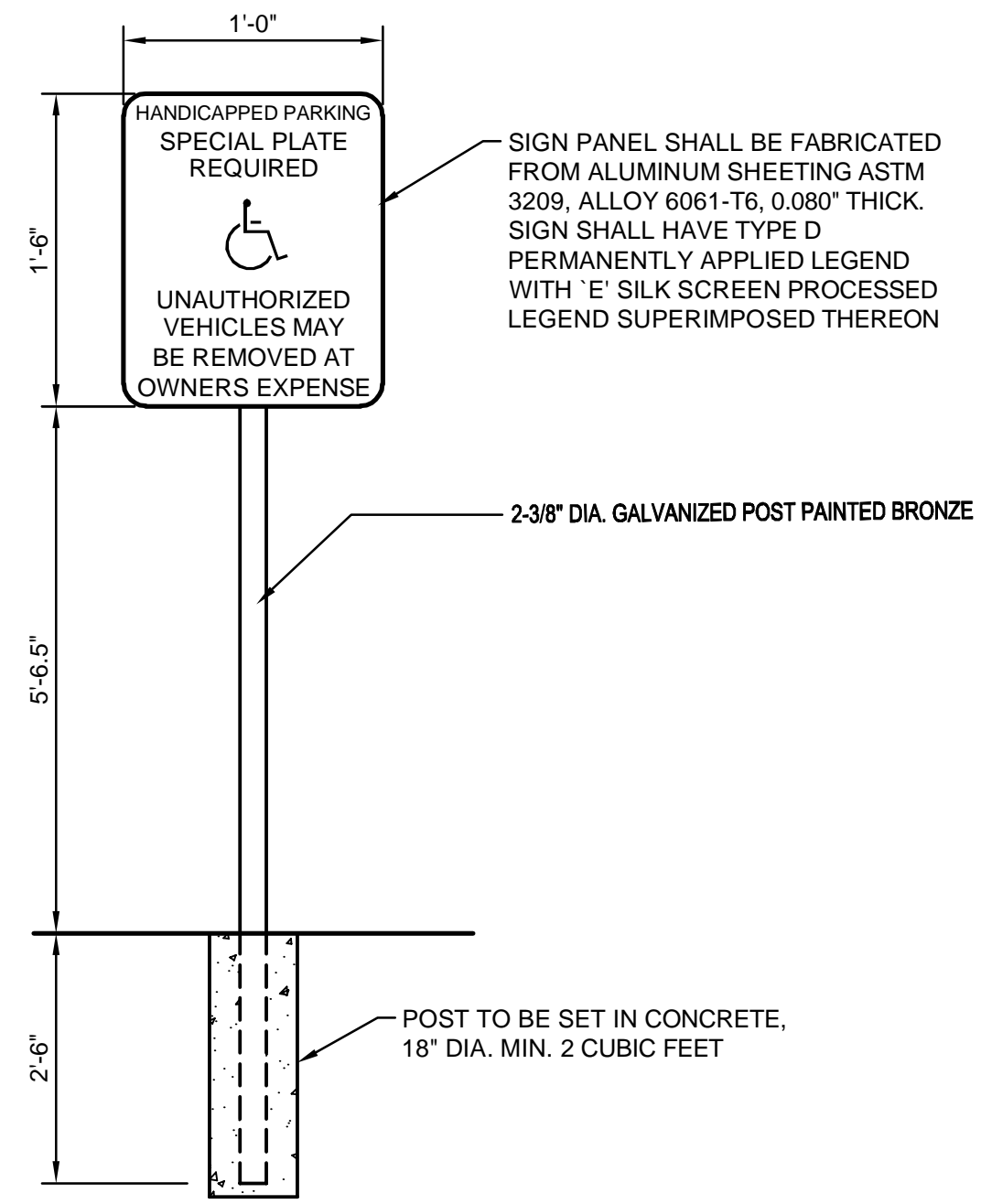
SECTION A-A WHEEL CHAIR RAMP
FOR SIDEWALKS UP TO 8' WIDE
NOT TO SCALE



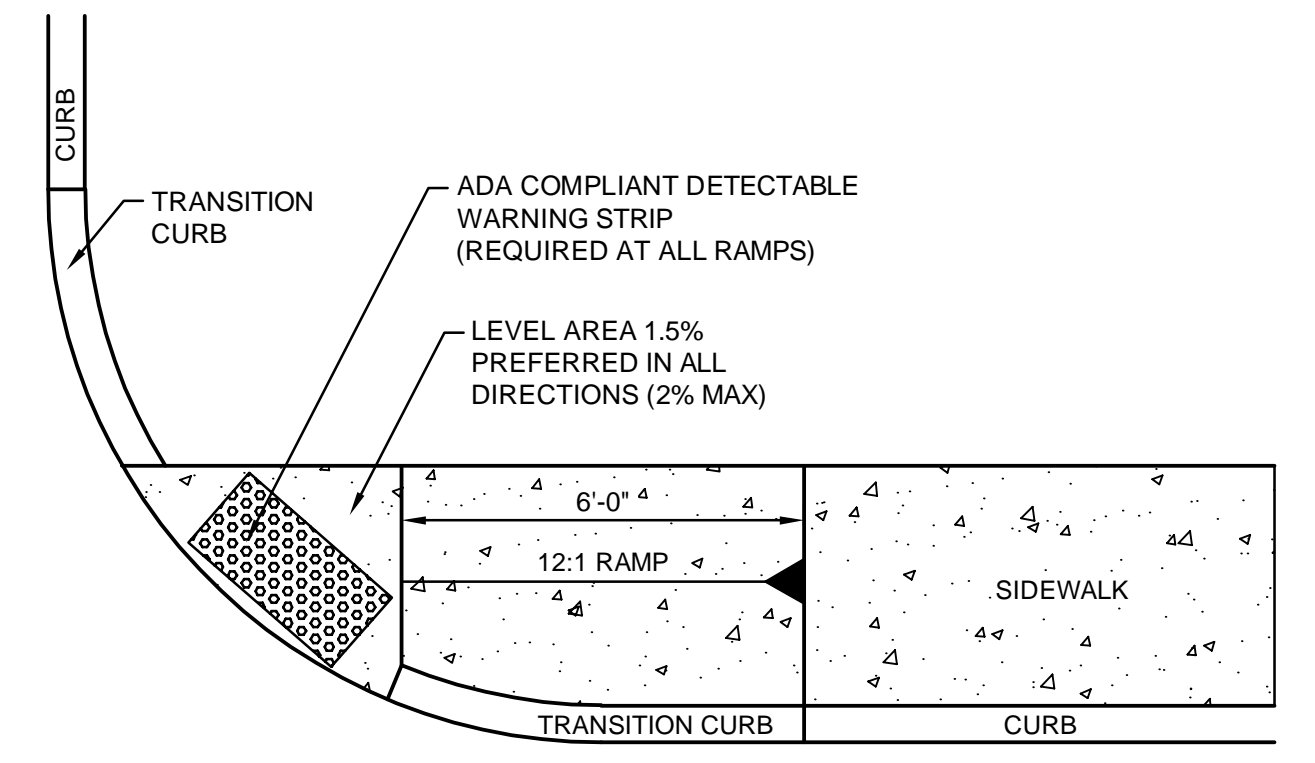
CONCRETE WALKWAY WITH MONOLITHIC CONCRETE FOOTING
NOT TO SCALE



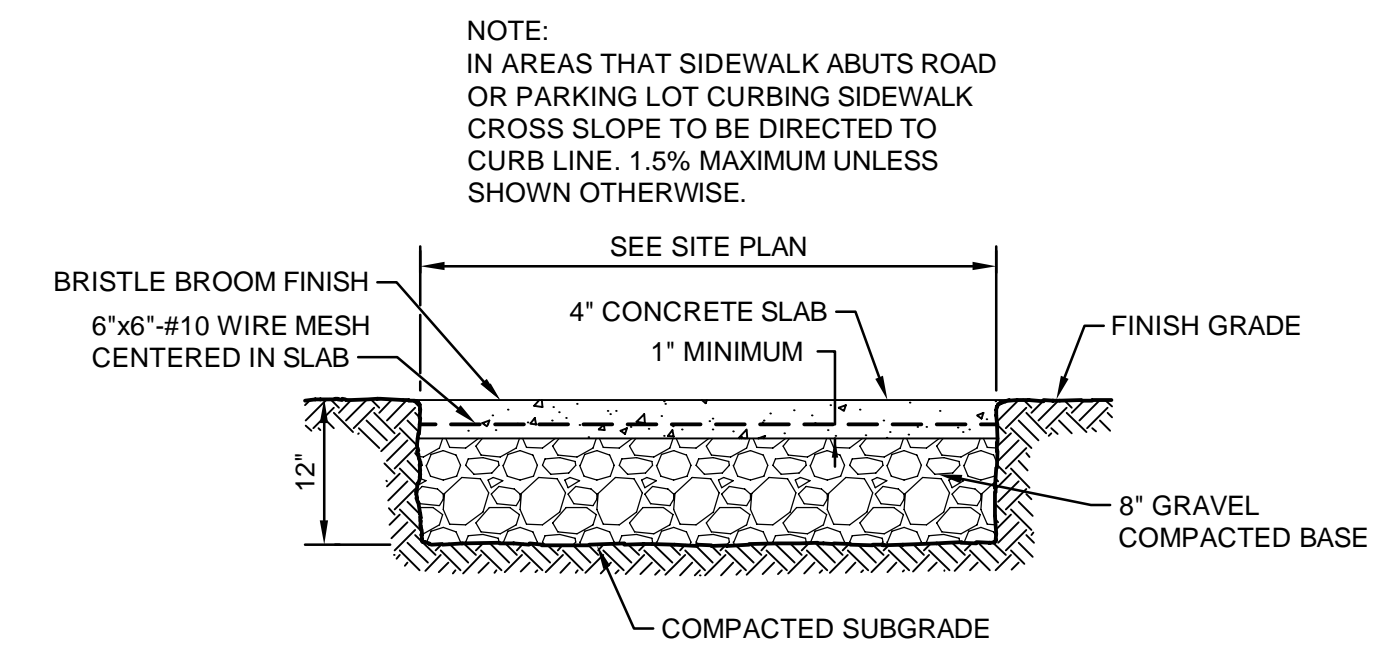
VERTICAL GRANITE CURB
NOT TO SCALE



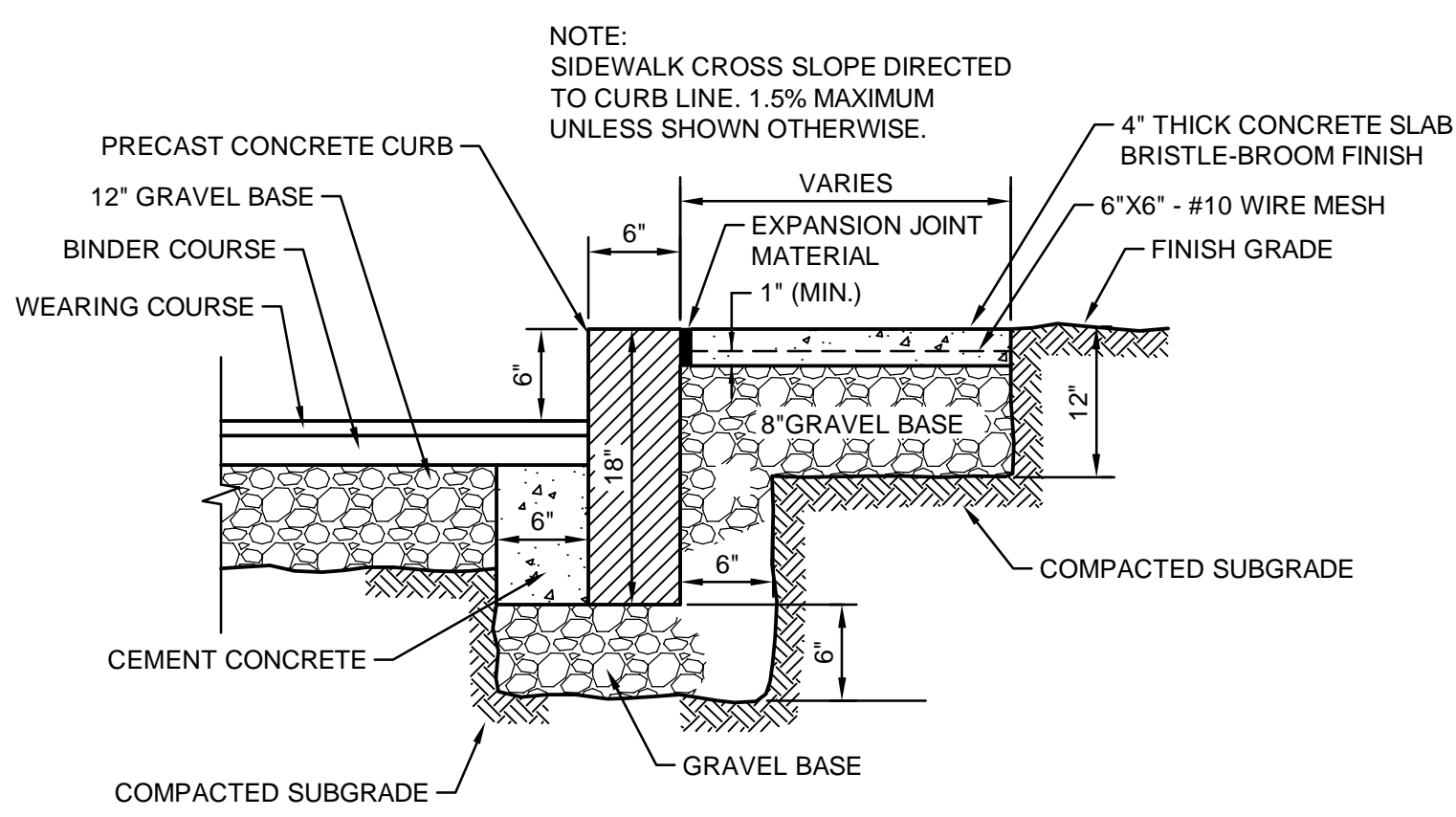
HANDICAP PARKING SIGN
NOT TO SCALE



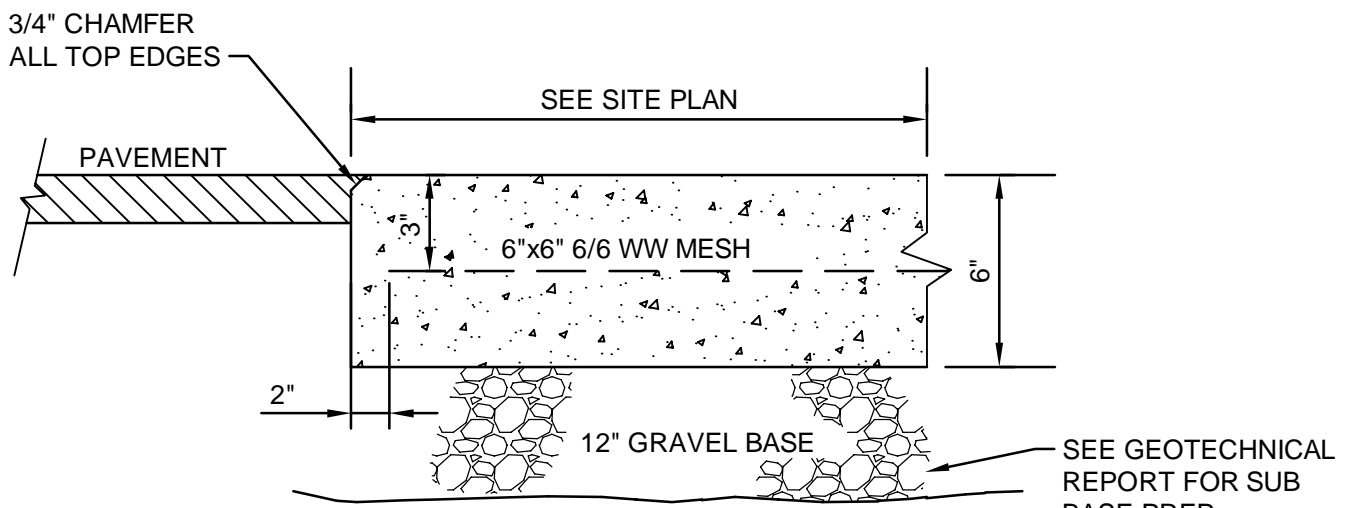
WHEEL CHAIR RAMP AT DRIVE
NOT TO SCALE



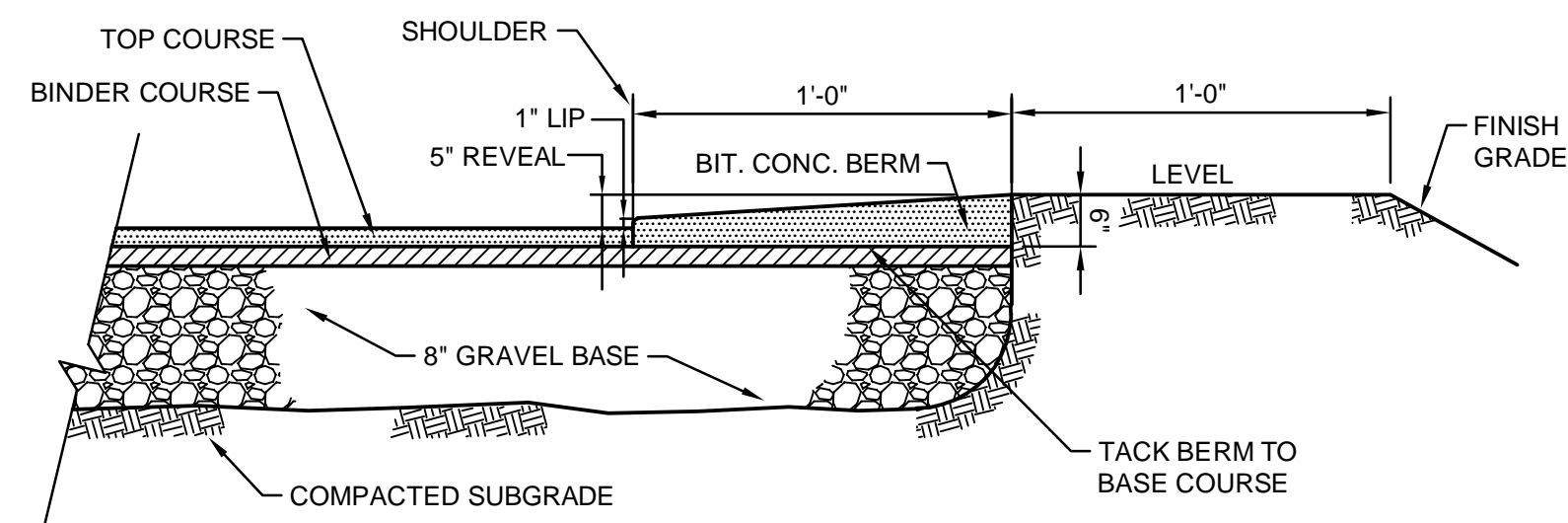
CEMENT CONCRETE WALK
NOT TO SCALE



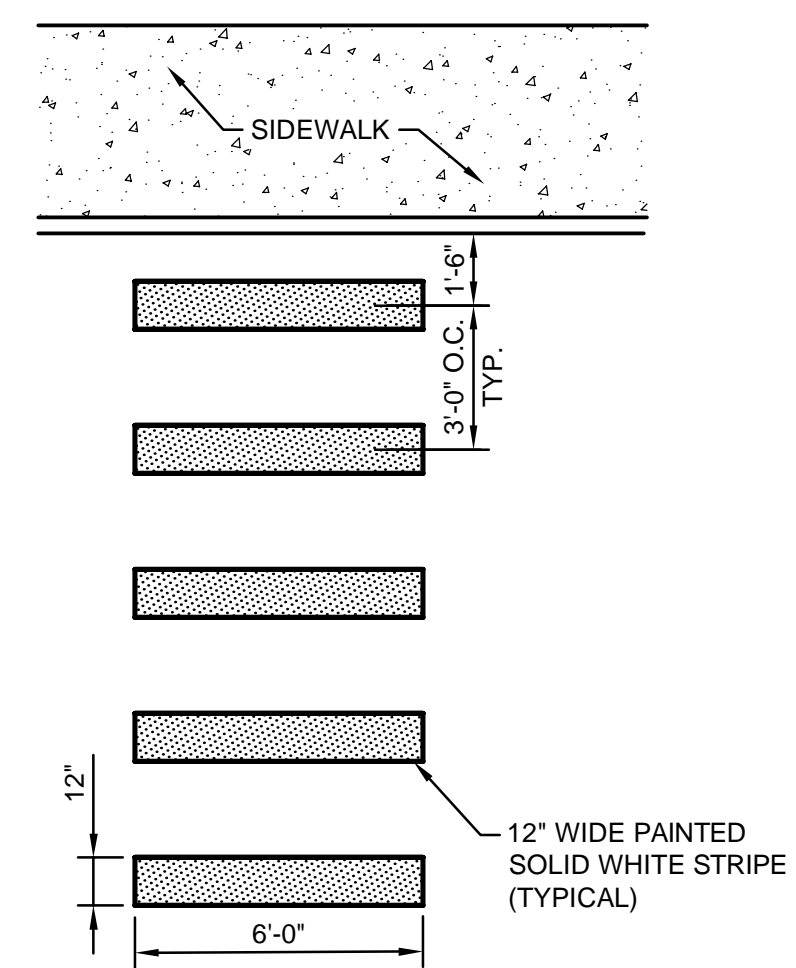
CONCRETE CURB & SIDEWALK
NOT TO SCALE



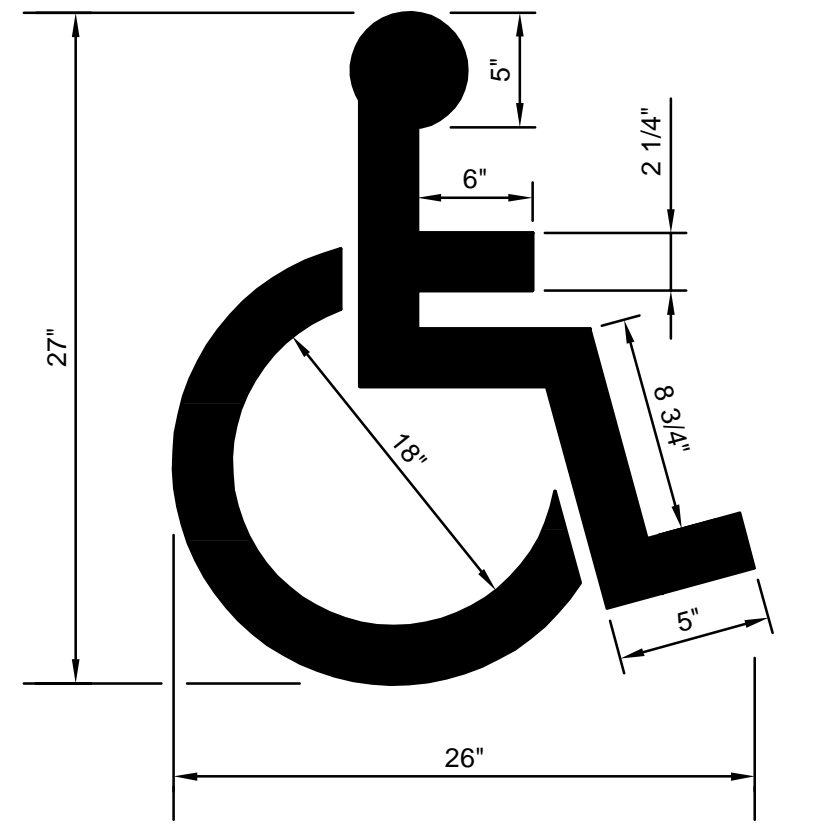
CONCRETE COMPACTOR PAD
NOT TO SCALE



BITUMINOUS CONCRETE BERM
NOT TO SCALE



PAINTED CROSSWALK
NOT TO SCALE



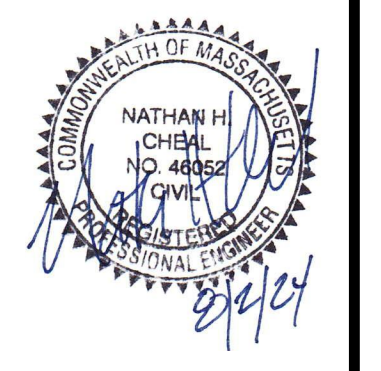
HANDICAP PARKING PAVEMENT MARKING
NOT TO SCALE

1. THE MAXIMUM ALLOWABLE ROUTE (SIDEWALK) AND CURB RAMP CROSS SLOPES SHALL BE 2.0% MAX.
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMP SHALL NOT EXCEED 1:12
3. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
4. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
5. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
6. ALL SLOPING SURFACES AT WHEEL CHAIR RAMPS FOR SIDEWALKS SHALL HAVE DETECTABLE WARNING-TRUNCATED DOMES AND COLOR CONTRAST.
7. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A DIAMETER OF NOMINAL 0.9 IN (23 MM), A HEIGHT OF NOMINAL 0.2 IN (5 MM) AND A CENTER-TO-CENTER SPACING OF NOMINAL 2.35 IN (60 MM) AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHOULD CONTRAST BY AT LEAST 70% CONTRAST IN PERCENT IS DETERMINED BY: CONTRAST = [(B1 - B2)/B1] X 100 WHERE B1 = LIGHT REFLECTANCE VALUE (LRV) OF THE LIGHTER AREA AND B2 = LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA. B1 SHALL NEVER EQUAL 100 AND B2 SHALL ALWAYS BE GREATER THAN 0.
8. ALL PROPOSED WHEELCHAIR RAMPS SHALL HAVE A PEDESTRIAN WARNING SURFACE MEETING THE REQUIREMENTS OF THE ADA GUIDELINES. (SEE SPECIFICATIONS). ALL WHEELCHAIR RAMPS SHALL BE CONSTRUCTED WITH COLOR TINTED CONCRETE MEETING THE ADA GUIDELINES FOR CONTRASTING COLOR. FINAL COLOR TO BE DETERMINED BY THE ARCHITECT. ALL CONCRETE SHALL BE 4000 PSI PER ASTM C-260 AND THE PROJECT SPECIFICATIONS.
9. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
10. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE WITHIN 1/2' WITH THE ROADWAY.

ACCESSIBLE CURB RAMP / ROUTE NOTES

- NOTES:
- 1.) THE DETECTABLE WARNING SHALL BE A CAST-IN-PLACE COMPOSITE PANEL PAVEMENT SYSTEM AS MANUFACTURED BY ADA SOLUTIONS, INC. COLOR SHALL BE BRICK RED.
 - 2.) TRANSITIONS FROM CURB CUTS TO WALKS, GUTTERS, OR STREETS SHALL BE FLUSH.
 - 3.) IF TRANSITION EXCEEDS .075FT/FT, THE TRANSITION MUST BE 0'-6" OVER 15' (MAX.) FOR CURB RUN.

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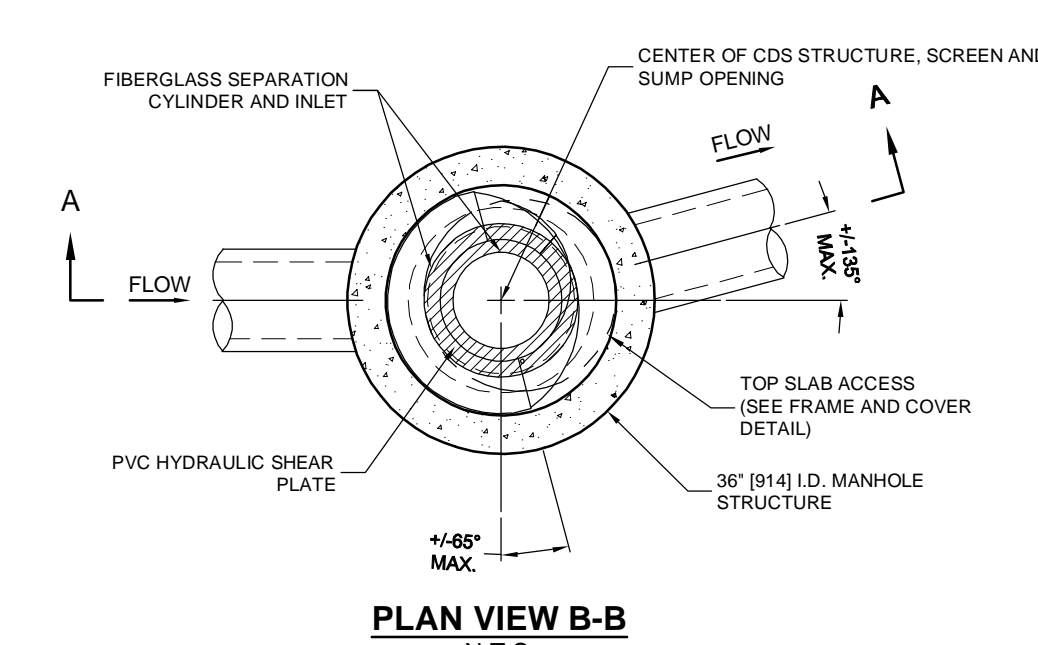
APPLICANT:
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SUITE 701
BOSTON, MA 02210

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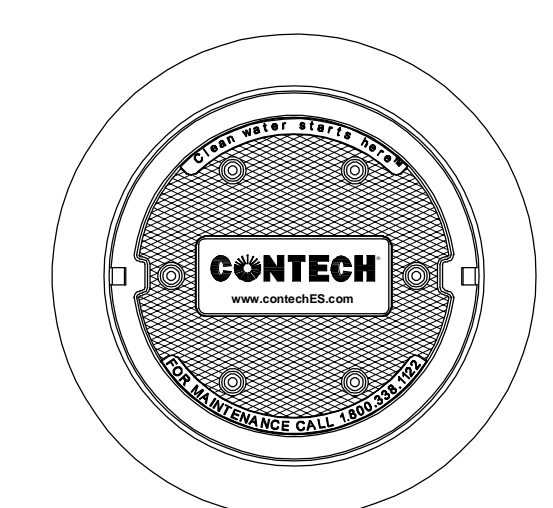
MARK	DATE	DESCRIPTION
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Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA
Project: Conceptual Site Plans
Hanover Hyannis II

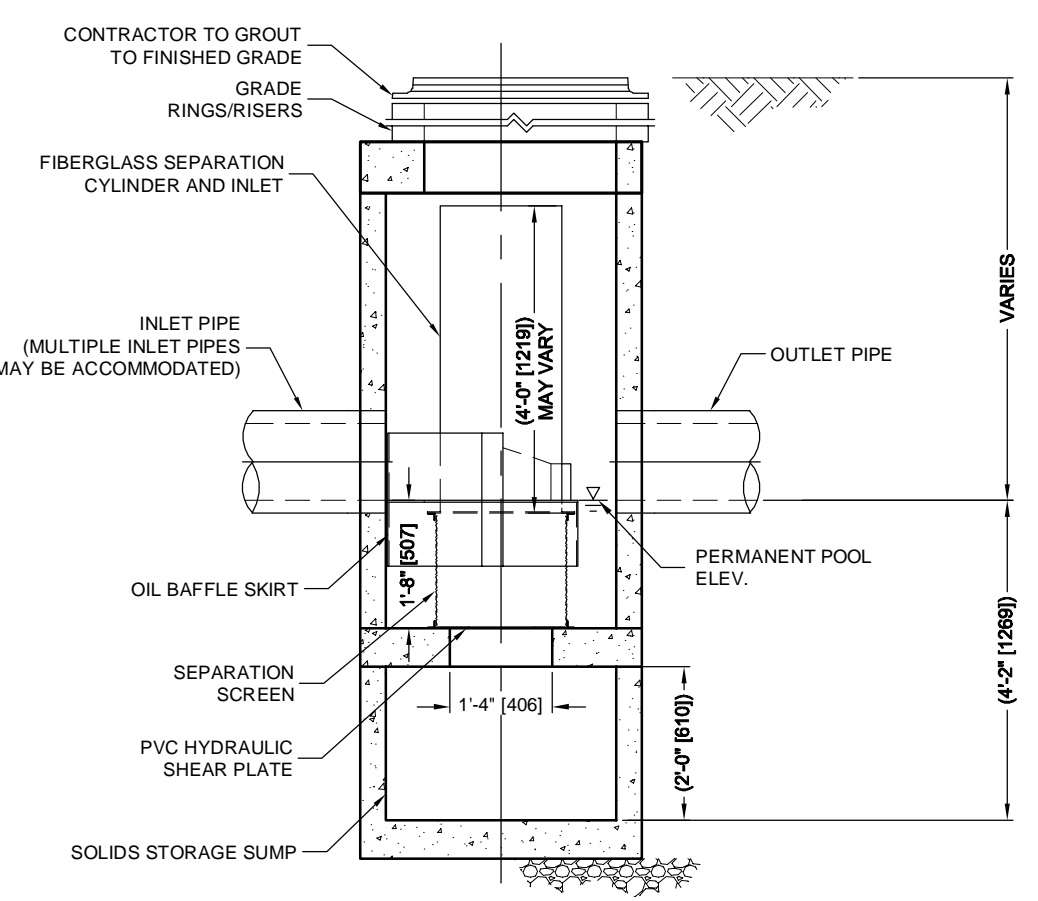
Project No.: 143-26700-2001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.



PLAN VIEW B-B
N.T.S.

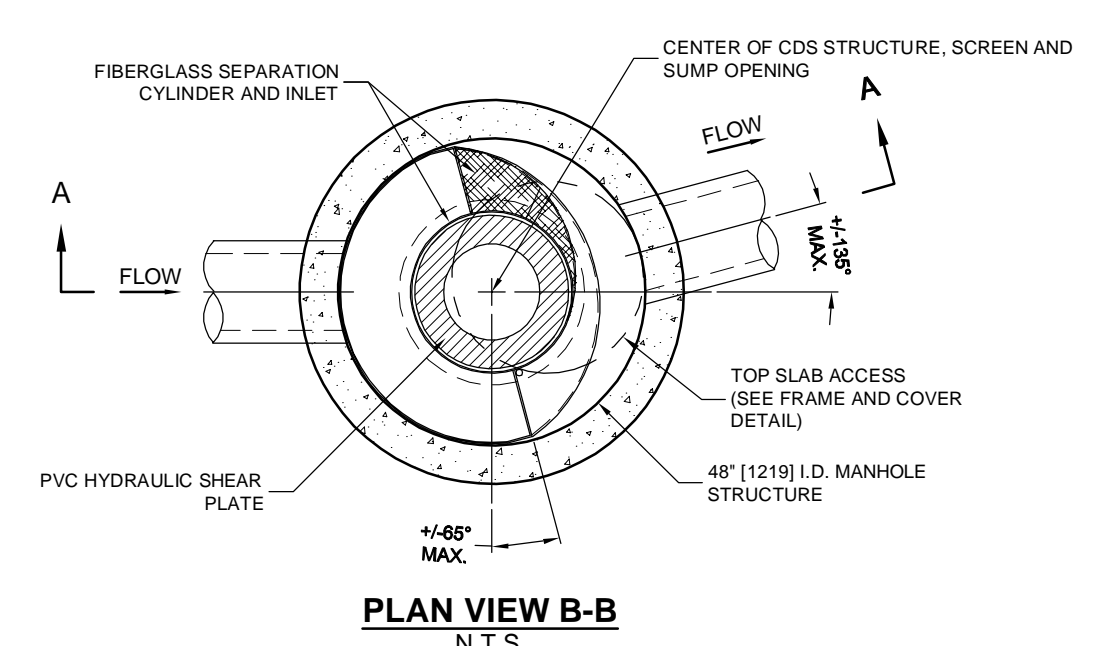


FRAME AND COVER
(DIAMETER VARIES)
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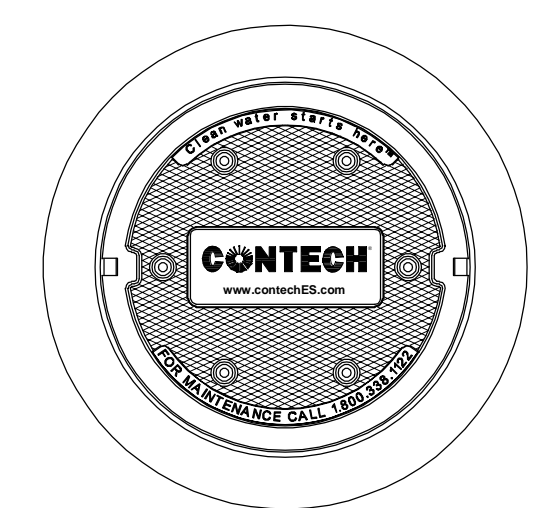


ELEVATION A-A
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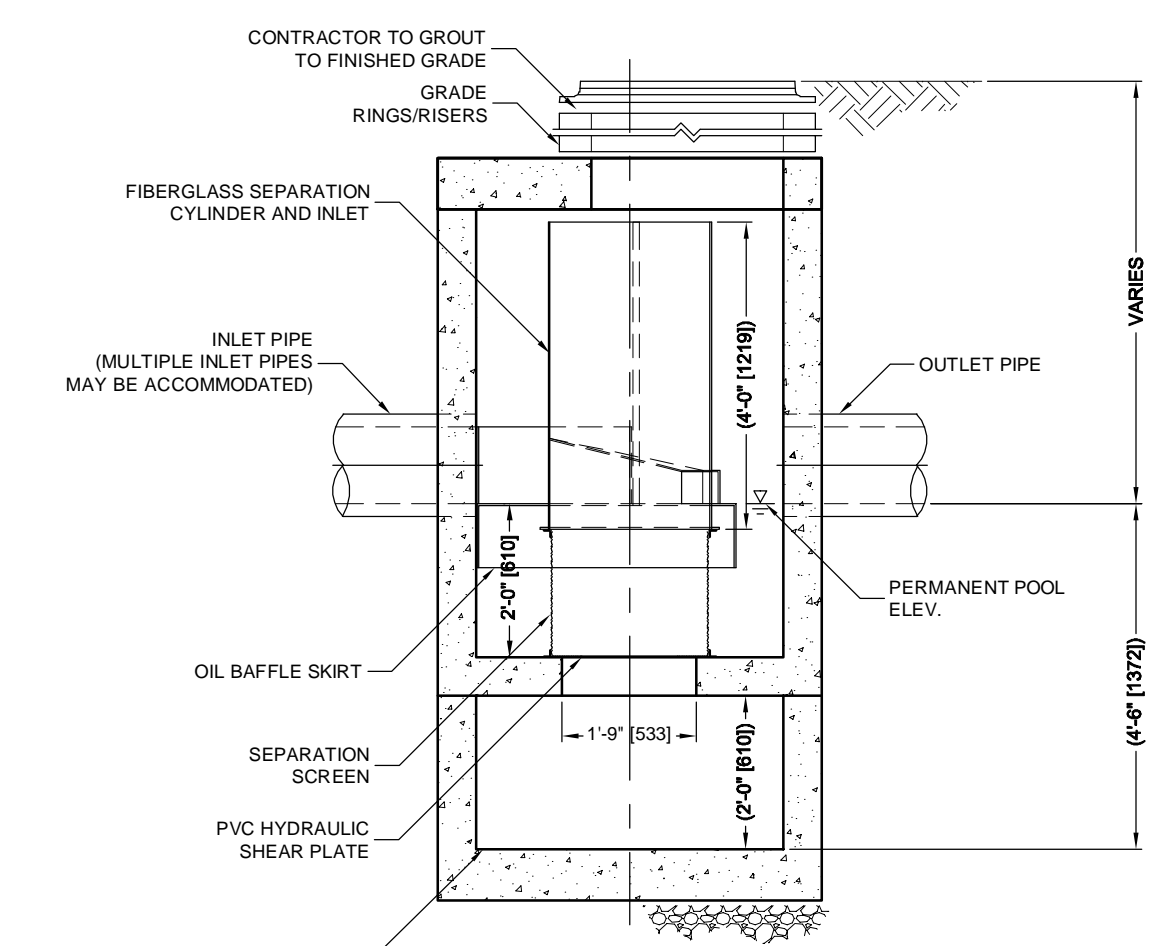
WQU # 1, 2, 3, 4, 7 & 8
CDS 1515-3-C WATER QUALITY UNIT
NOT TO SCALE



PLAN VIEW B-B
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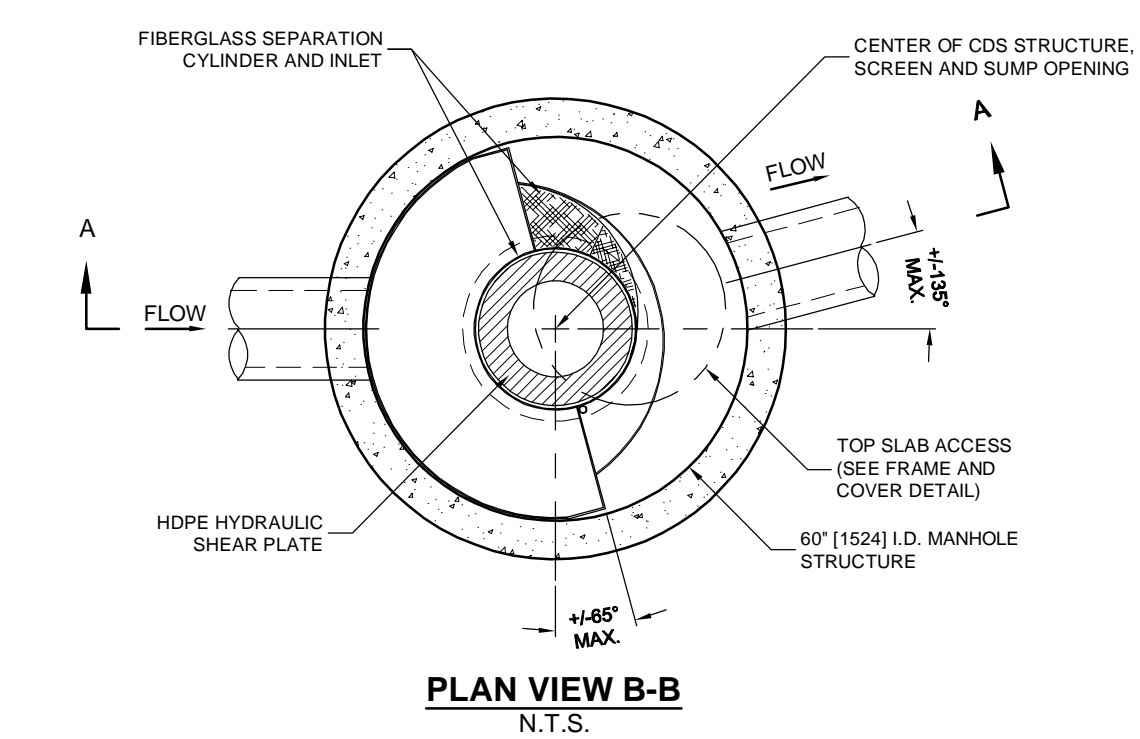


FRAME AND COVER
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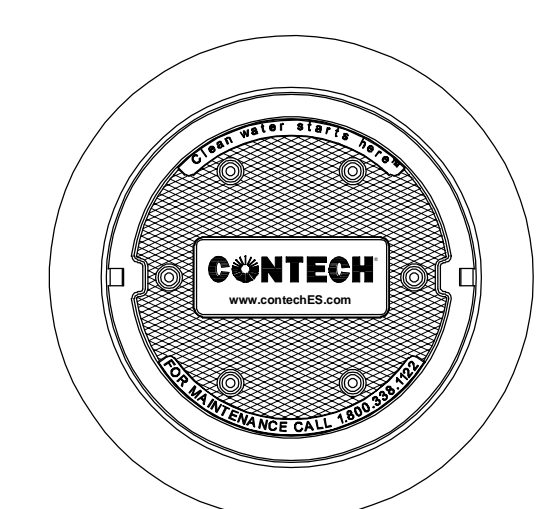


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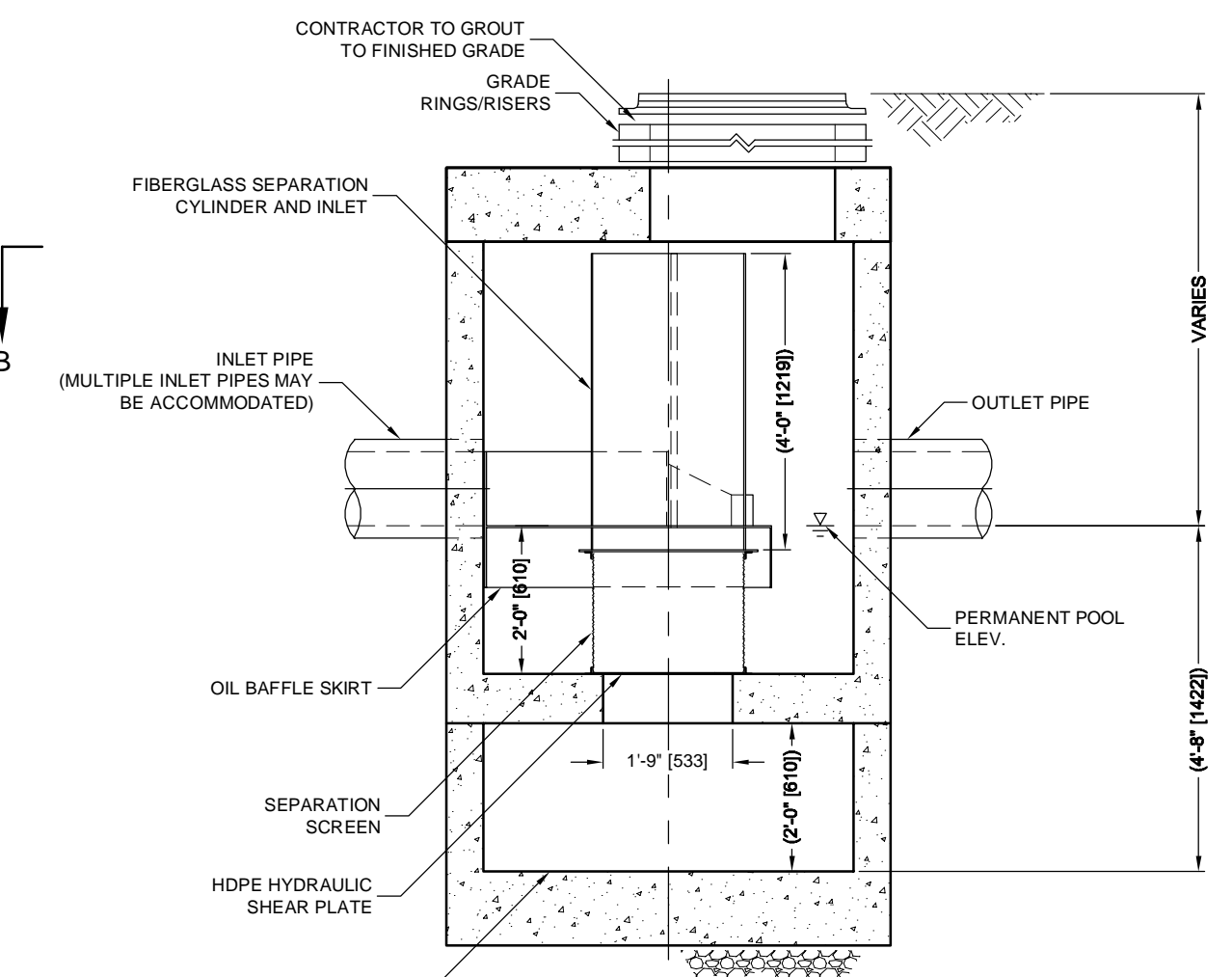
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CASCADE CDS-2015-4-C WATER QUALITY UNIT
NOT TO SCALE



PLAN VIEW B-B
N.T.S.



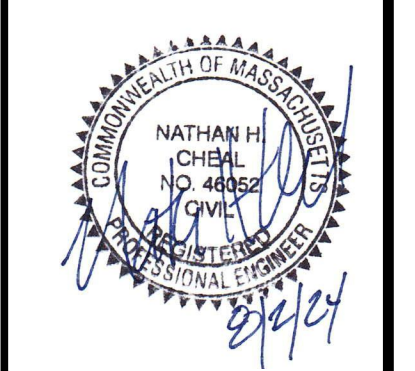
FRAME AND COVER
(DIAMETER VARIES)
N.T.S.



ELEVATION A-A
N.T.S.

WQU # 9
CDS 2015-5-C WATER QUALITY UNIT
NOT TO SCALE

TETRA TECH
www.tetratech.com
100 Nickerson Road
Marlborough, MA 01752
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APPLICANT:
HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210
ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA
Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

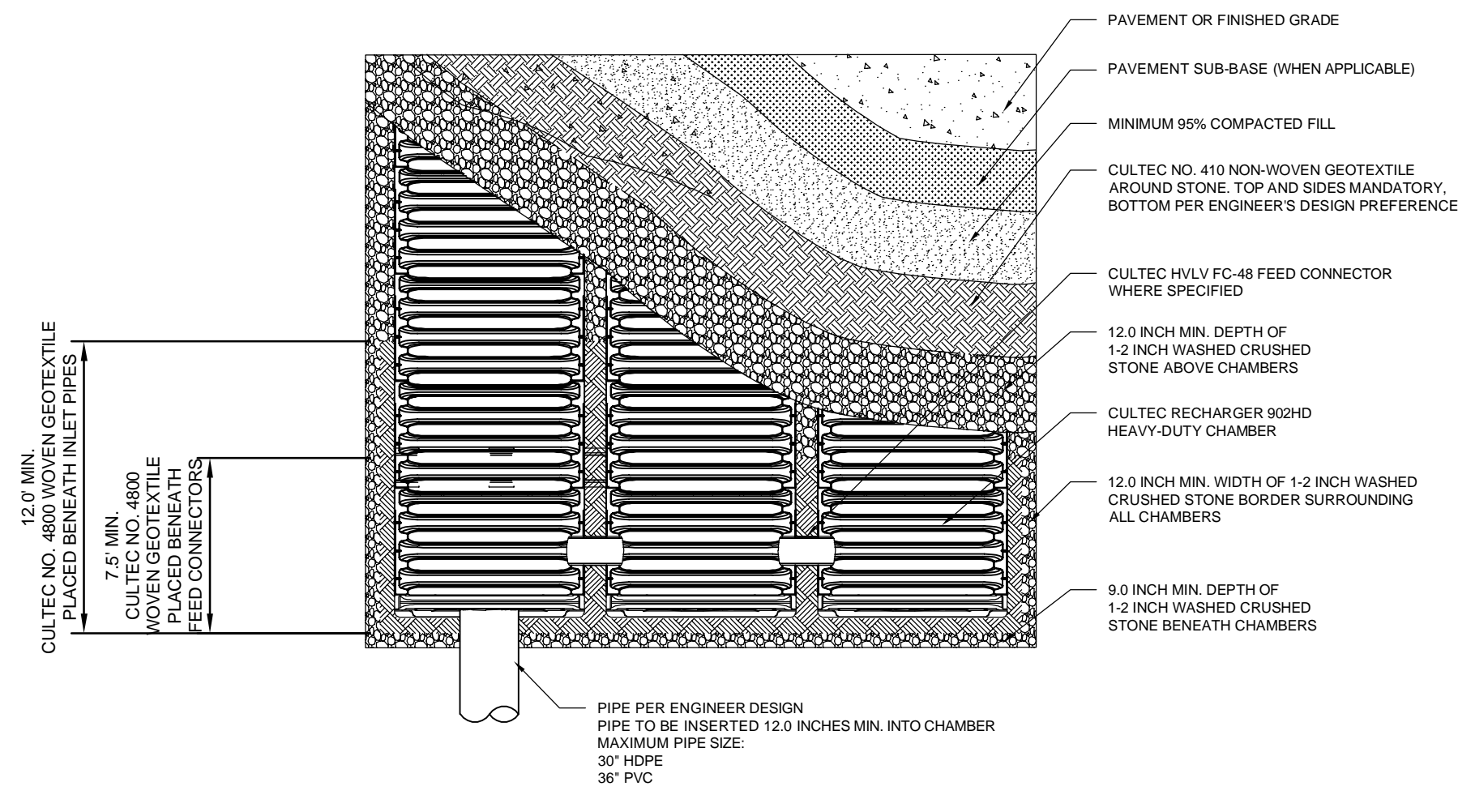
Conceptual Site Plans
Hanover Hyannis II
Detail Sheet

C-33

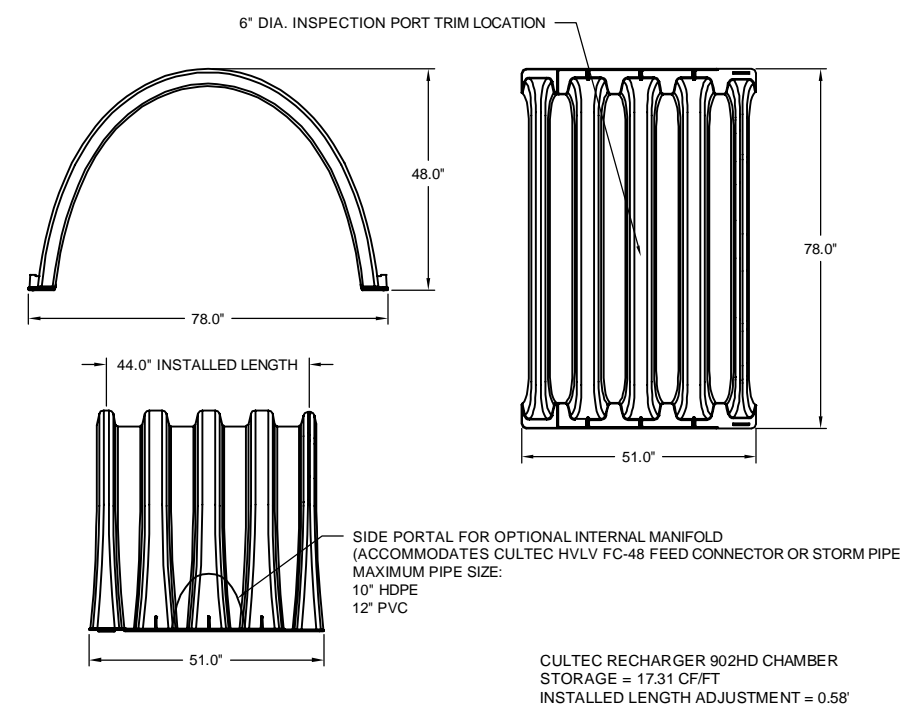
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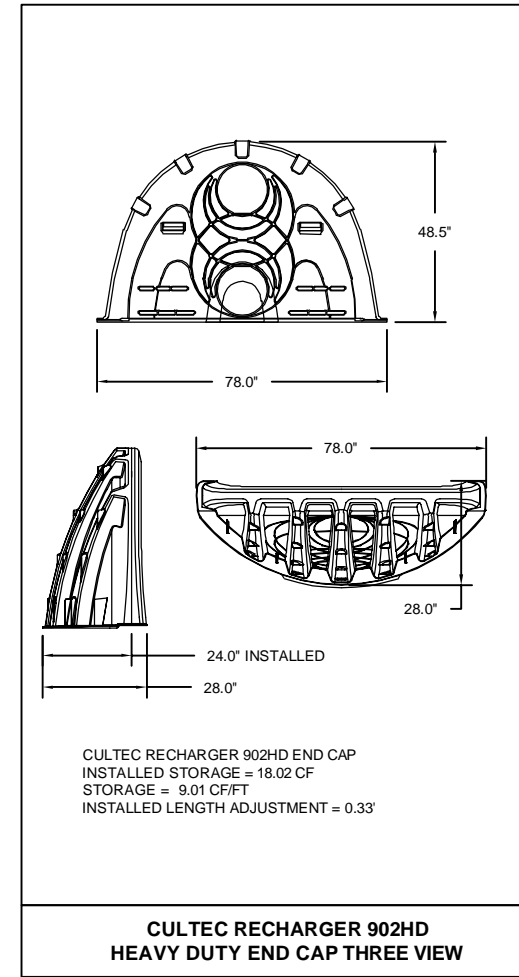
Bar Measures 1 inch



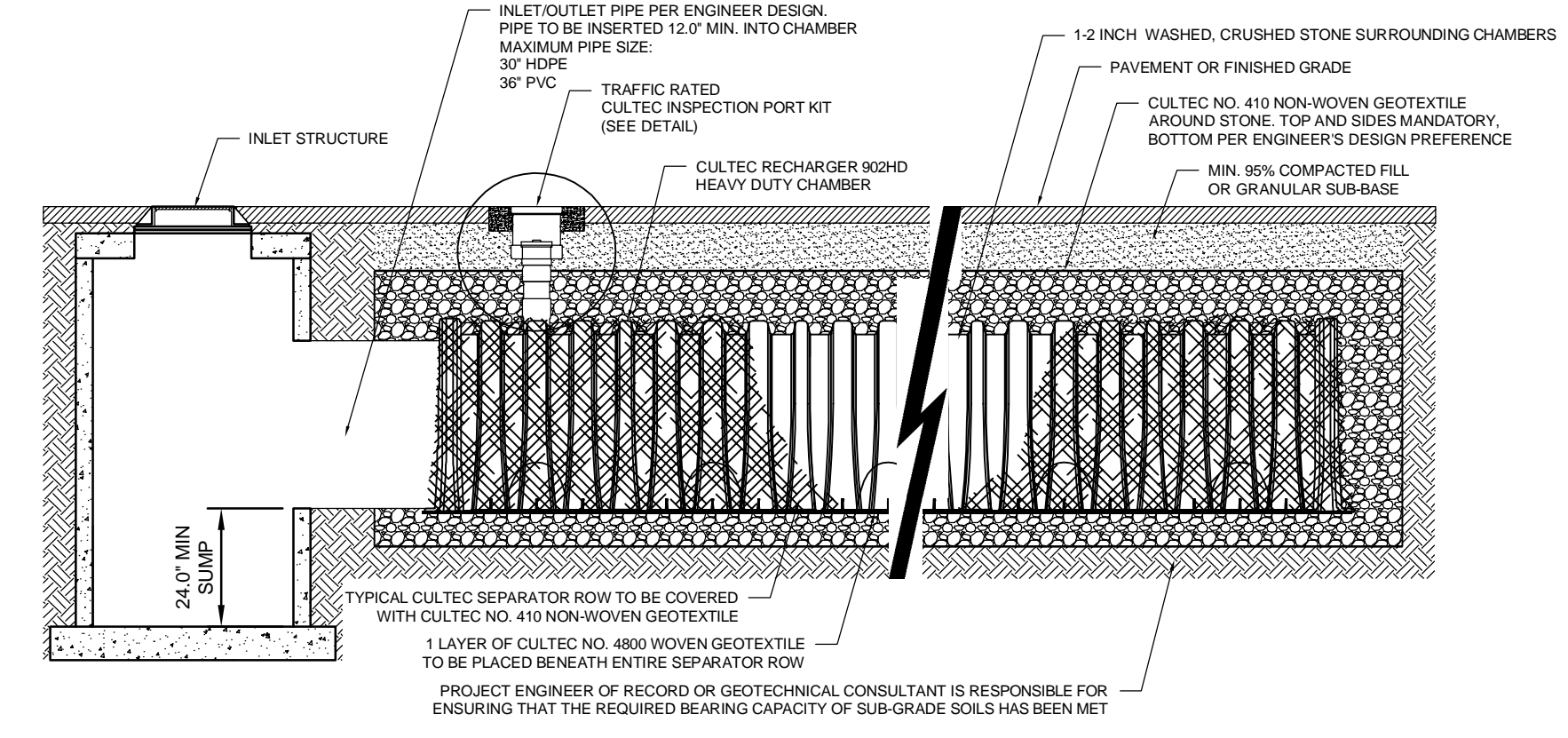
CULTEC RECHARGER 902HD HEAVY DUTY PLAN VIEW
NOT TO SCALE



CULTEC RECHARGER 902HD HEAVY DUTY THREE VIEW
NOT TO SCALE

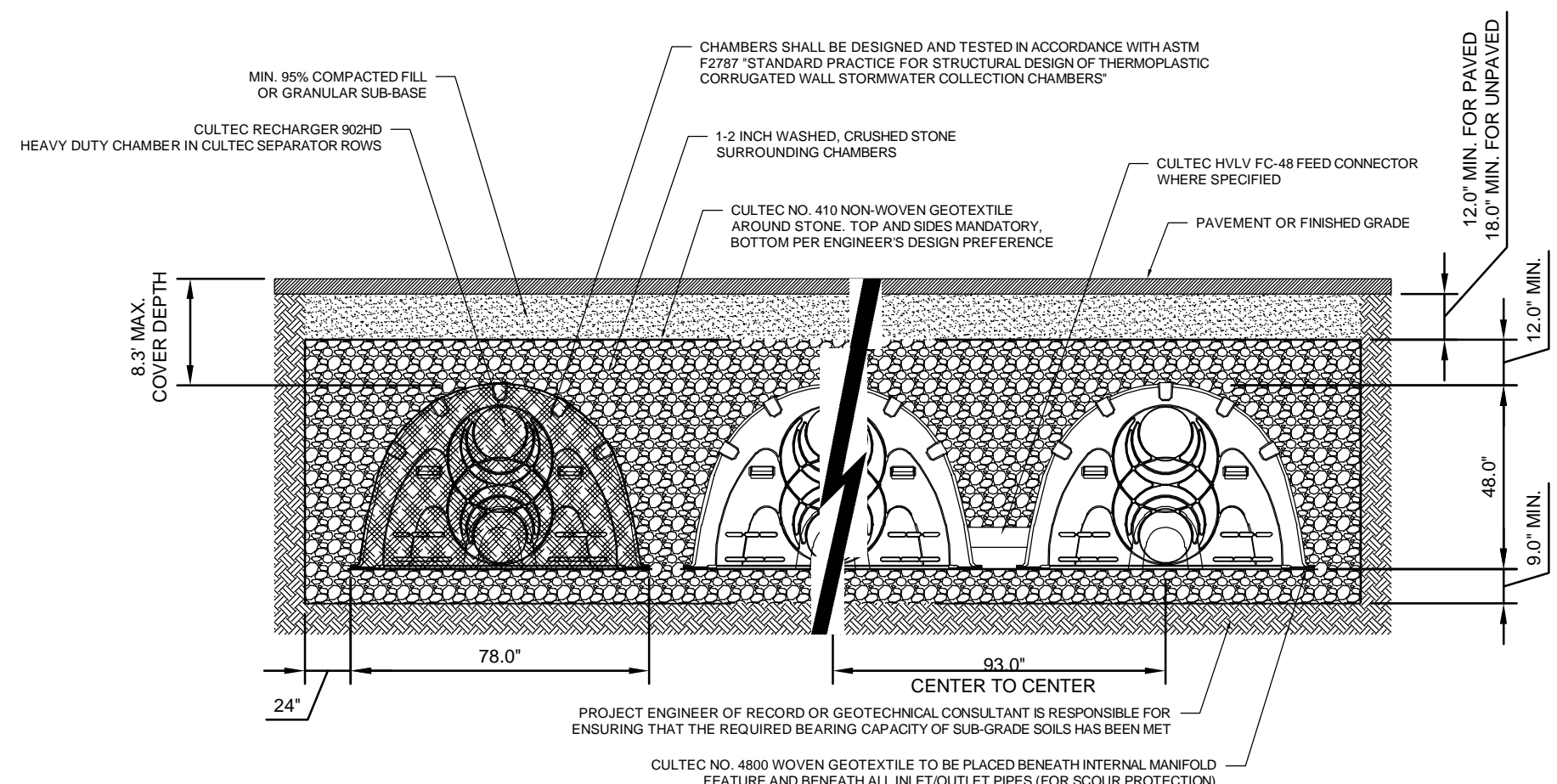


CULTEC RECHARGER 902HD HEAVY DUTY END CAP THREE VIEW



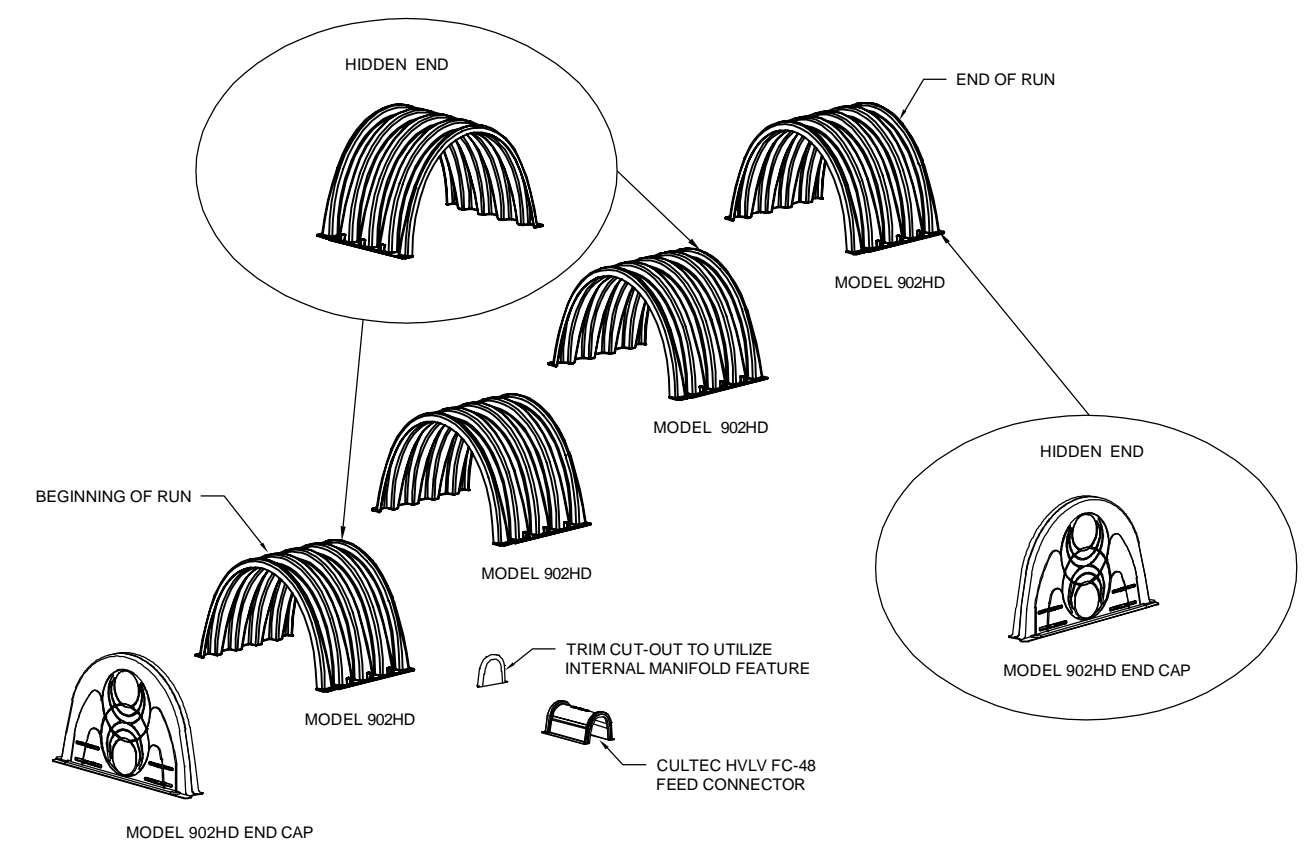
CULTEC SEPARATOR ROW - CULTEC INSPECTION PORT DETAIL
NOT TO SCALE

- NOTES:**
- THE CHAMBERS SHALL BE DESIGNED AND TESTED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS." THE LOAD CONFIGURATION SHALL INCLUDE:
 - INSTANTANEOUS AASHTO DESIGN TRUCK LIVE LOAD AT MINIMUM COVER
 - MAXIMUM PERMANENT (50-YEAR) COVER LOAD
 - 1-WEEK PARKED AASHTO DESIGN TRUCK LOAD
 - THE CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F3430-20 "STANDARD SPECIFICATION FOR CELLULAR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
 - THE INSTALLED CHAMBER SYSTEM SHALL PROVIDE RESISTANCE TO THE LOADS AND LOAD FACTORS AS DEFINED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12, WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS. THE STRUCTURAL DESIGN OF THE CHAMBERS SHALL INCLUDE THE FOLLOWING:
 - THE CREEP MODULUS SHALL BE 50-YEAR AS SPECIFIED IN ASTM F3430
 - THE MINIMUM SAFETY FACTOR FOR LIVE LOADS SHALL BE 1.75
 - THE MINIMUM SAFETY FACTOR FOR DEAD LOADS SHALL BE 1.95

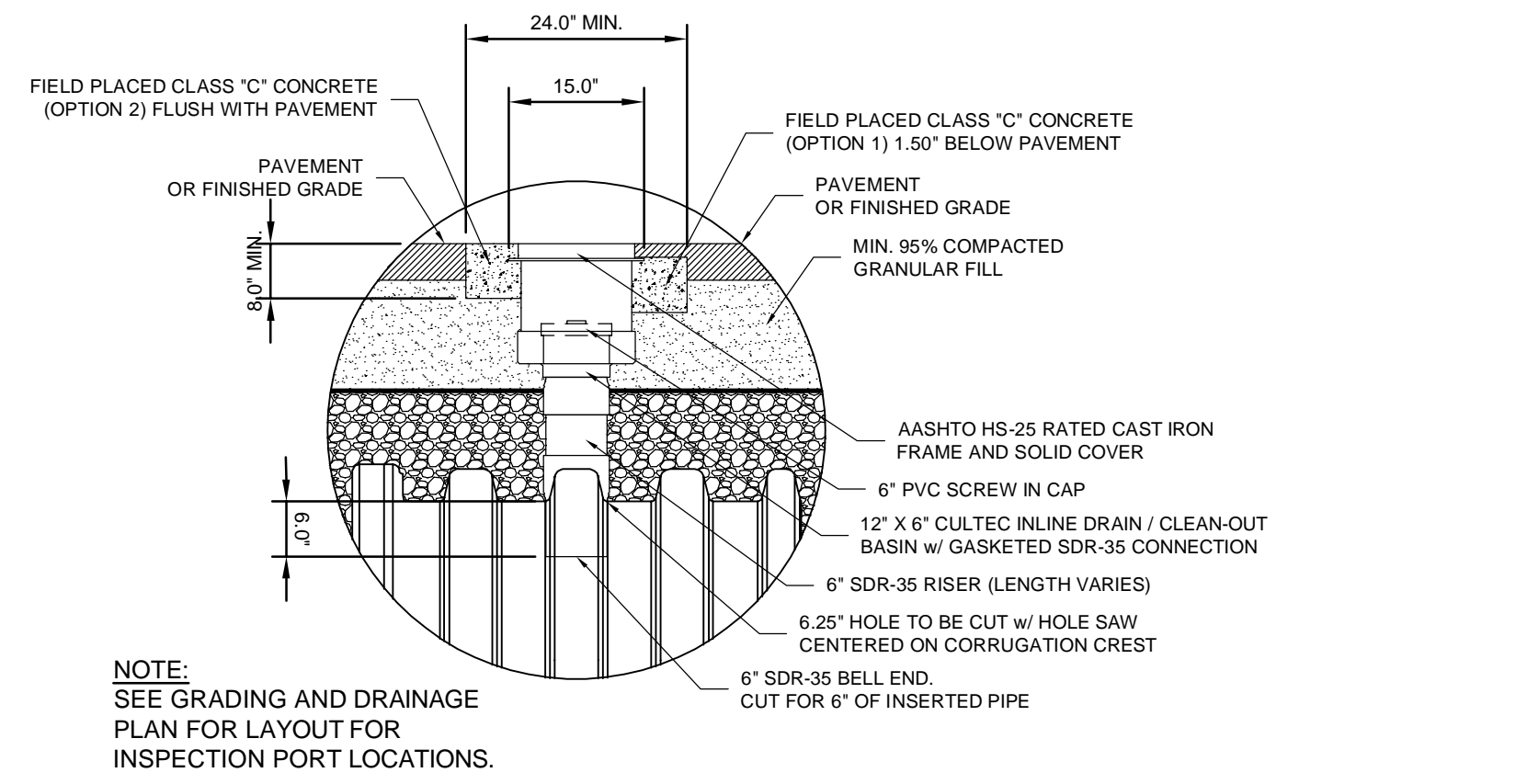


CULTEC RECHARGER 902HD HEAVY DUTY CROSS SECTION
NOT TO SCALE

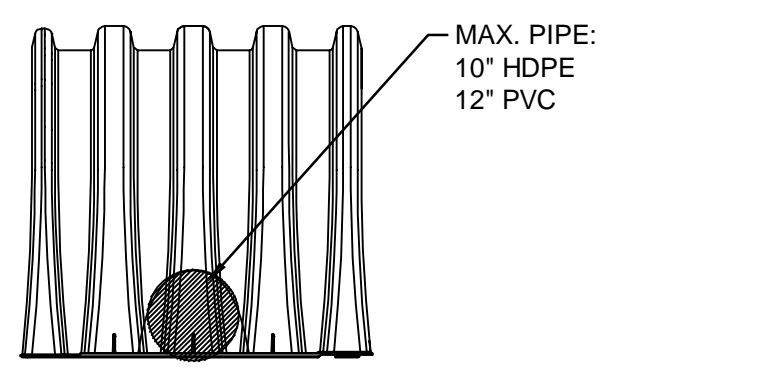
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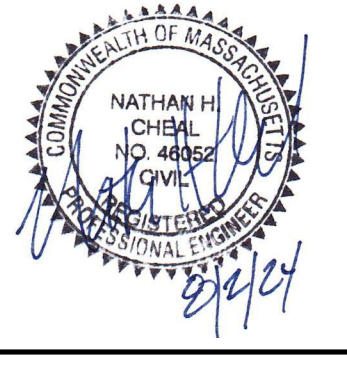
CULTEC RECHARGER 902HD HEAVY DUTY TYPICAL INTERLOCK
NOT TO SCALE



CULTEC INSPECTION PORT - ZOOM DETAIL
NOT TO SCALE



ZOOM OF SIDE PORTAL SHOWING MAX. PIPE O.D.
NOT TO SCALE



APPLICANT:
HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkens Lane, Hyannis, MA

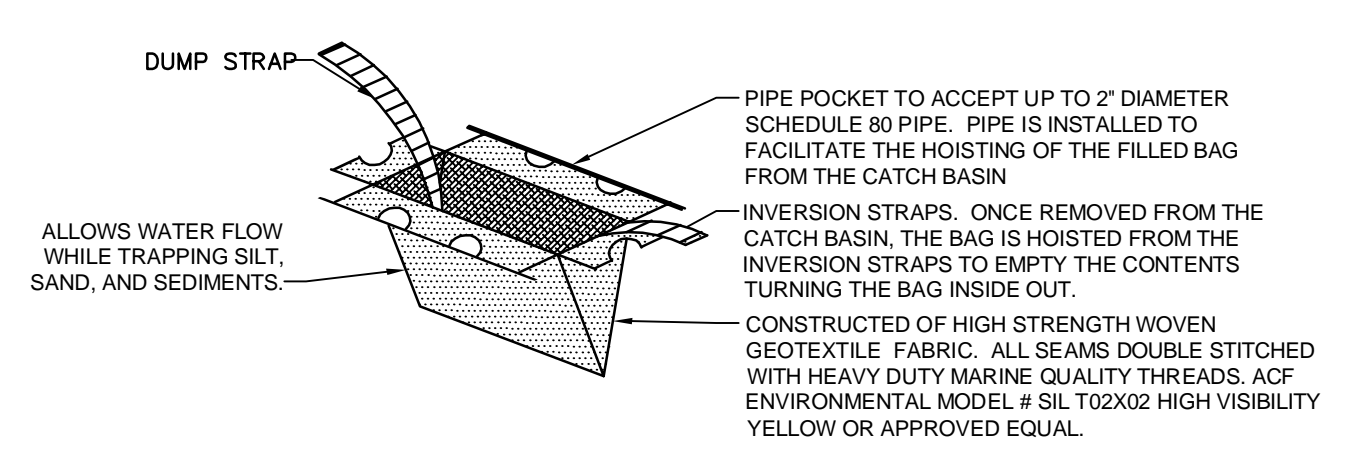
Project No.: 143-26700-20001

Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

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Bar Measures 1 inch



NOTES:

PRACTICE CATCH BASIN INLET PROTECTION:

INLET PROTECTION MEASURES REMOVE SEDIMENT FROM THE DISCHARGE PRIOR TO ENTRY INTO CATCH BASIN INLETS. EXAMPLES OF INLET PROTECTION MEASURES INCLUDE EXCAVATIONS AROUND THE PERIMETER OF THE DROP INLET, FABRIC BARRIERS AROUND INLET ENTRANCE, BLOCK AND GRAVEL PROTECTION, AND STONE-FILLED BAG BERMS. THE VARIOUS TYPES ARE SPECIFIC TO THE GROUND COVER OF THE CONTRIBUTING AREA AS OUTLINED BELOW. INLET PROTECTION PRACTICES TYPICALLY FUNCTION BY SLOWING AND DETAINING SEDIMENT-LADEN RUNOFF AND ALLOWING SEDIMENT TO SETTLE OUT OF SUSPENSION. INLET PROTECTION MUST BE INSTALLED IN NEW CATCH BASIN INLETS IMMEDIATELY UPON INSTALLATION, AND INSTALLED IN EXISTING CATCH BASIN INLETS BEFORE ADJACENT AREAS ARE DISTURBED. SPECIFIC TYPES OF INLET PROTECTION FOR PAVED AND UNPAVED AREAS ARE AS FOLLOWS:

- GEOTEXTILE BARRIERS: POROUS WOVEN FABRIC PLACED INSIDE A CATCH BASIN INLET TO CREATE A SHIELD AGAINST SEDIMENT WHILE ALLOWING WATER TO FLOW INTO THE DRAIN. THIS METHOD INCLUDES SILT SACKS, FILTER FABRIC, A RING OF SILT FENCE, ETC.
- EXCAVATIONS: A SMALL EXCAVATION AROUND THE PERIMETER OF THE CATCH BASIN INLET CREATES A SMALL POOL THAT COLLECTS SEDIMENT TO SETTLE OUT OF SUSPENSION. THIS MAY BE USED IN NON-PAVED AREAS.
- GRAVEL/STONE BARRIERS: GRAVEL/STONE CAN BE USED TO SLOWING AND DETAINING SEDIMENT-LADEN RUNOFF AND ALLOW SEDIMENT TO SETTLE OUT OF SUSPENSION. IT IS IMPORTANT TO USE CLEAN, WASHED STONE AND PREVENT IT FROM BEING WASHED INTO THE STORM WATER MANAGEMENT CONVEYANCE SYSTEM.

INSTALLATION REQUIREMENTS: THE CONTRACTOR MUST PROVIDE INLET PROTECTION FOR DISCHARGES TO ANY CATCH BASIN INLET THAT CARRIES STORMWATER FLOW FROM THE SITE DIRECTLY TO A SURFACE WATER OR MSA (AND IT IS NOT FIRST DIRECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL). THE CONTRACTOR MUST NOT ALLOW ACCUMULATED SEDIMENT TO BLOCK STORM DRAIN INLETS. THIS MAY CAUSE STORM WATER RUNOFF TO BYPASS THE STORM WATER CONVEYANCE SYSTEM AND CREATE PROBLEMS DOWN-SLOPE INCLUDING ADDITIONAL EROSION OR FLOODING.

MAINTENANCE REQUIREMENTS: CLEAN, OR REMOVE AND REPLACE, THE PROTECTION MEASURES AS SEDIMENT ACCUMULATES. THE FILTER BECOMES CLOGGED, AND/OR PERFORMANCE IS COMPROMISED. WHERE THERE IS EVIDENCE OF SEDIMENT ACCUMULATION ADJACENT TO THE INLET PROTECTION MEASURE, THE DEPOSITED SEDIMENT MUST BE REMOVED BY THE END OF THE SAME WORK DAY IN WHICH IT WAS FOUND OR BY THE END OF THE FOLLOWING WORK DAY IF REMOVAL BY THE SAME WORK DAY IS NOT FEASIBLE.

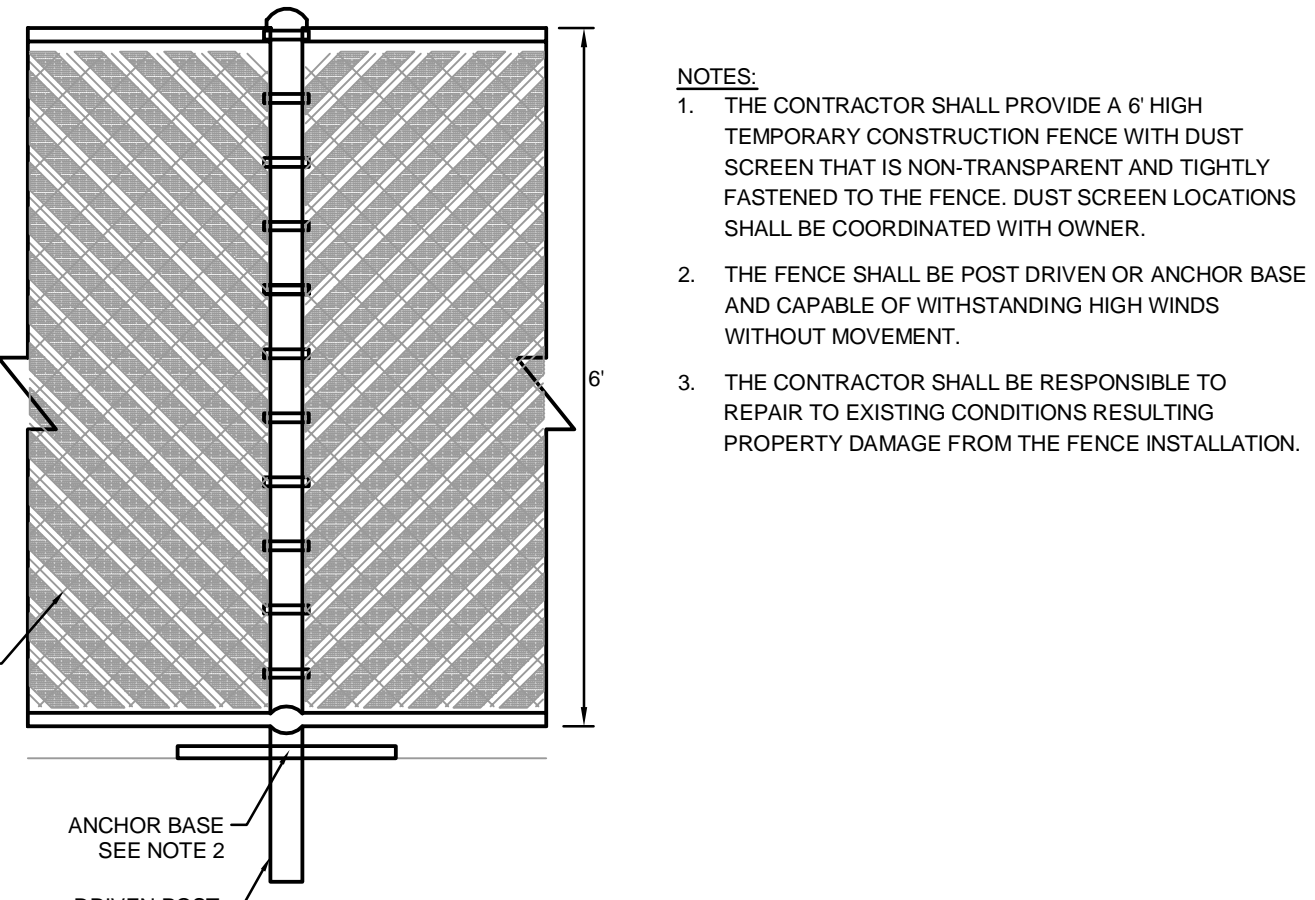
GEOTEXTILE CATCH BASIN INLET PROTECTION
NOT TO SCALE

SPECIES	SEEDING RATES LBS/1000 S.F. & LBS/ACRES		RECOMMENDED SEEDING DATES
	LBS/1000 SQUARE FOOT	LBS/ACRES	
ANNUAL RYEGRASS	1	40	APRIL 1 TO JUNE 1 AUG. 1 TO SEPT. 15
FOXTAIL MILLET	0.7	30	MAY 1 TO JUNE 30
OATS	2	80	APRIL 1 TO JULY 1 AUG. 15 TO SEPT. 15
WINTER RYE	3	120	AUG. 15 TO OCT. 15

MULCHING: MULCHING IS AN EROSION CONTROL PRACTICE THAT INVOLVES USING MATERIALS SUCH AS HAY, STRAW, WOOD CHIPS/FIBERS, ETC. TO PROTECT EXPOSED SOILS. MULCH MUST BE APPLIED AT THE APPROPRIATE RATE AND PROPERLY ANCHORED (USING NETTING, TACKIFIERS OR AN ANCHORING TOOL). MULCHING IS HIGHLY EFFECTIVE, AND WHEN INSTALLED CORRECTLY PROVIDES A LEVEL OF PROTECTION COMPARABLE TO DENSE VEGETATIVE COVER. THE HAY OR STRAW MULCH SHALL BE AIR-DRIED, FREE OF UNDESIRABLE SEEDS AND COARSE MATERIALS. APPLICATION RATE MUST BE 2 BALES (70-80 LBS) PER 1,000 SQUARE FEET OR 1.5 TO 2 TONS PER ACRE. NO BARE SPOTS SHOWING AND SHALL ONLY BE APPLIED TO SLOPES 3:1 OR FLATTER. ANCHORING METHODS INCLUDING NETTING WITH JUTE, WOOD FIBER OR PLASTIC, OR APPLY MULCH AND TRACK SURFACE UP AND DOWN THE SLOPE SO GLEAT MARKS ARE PARALLEL TO THE CONTOURS. FOR OVERWINTER APPLICATION, THE RATE SHALL BE 150 LBS PER 1,000 SQUARE FEET OR 3 TONS/ACRE. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. SNOW MUST BE REMOVED DOWN TO A ONE-INCH DEPTH OR LESS PRIOR TO APPLICATION.

TEMPORARY SEEDING: TEMPORARY SEEDING IS AN EROSION CONTROL PRACTICE THAT CONSISTS OF USING SELECT VARIETIES OF GRASSES TO ESTABLISH VEGETATIVE COVER. TEMPORARY SEEDING UTILIZES ANNUAL SPECIES THAT ESTABLISH QUICKLY, ARE NOT PERSISTENT OR INVASIVE, BUT PROVIDE LONG TERM TEMPORARY COVER. TEMPORARY SEEDING CAN BE USED ON DISTURBED AREAS REQUIRING TEMPORARY PROTECTION UNTIL PERMANENT VEGETATION IS ESTABLISHED OR ON AREAS WHICH MAY BE RE-DISTURBED FOLLOWING A PERIOD OF INACTIVITY (7 DAYS OR MORE). TEMPORARY SEEDING RATES AND SPECIFICATIONS ARE PROVIDED BELOW.

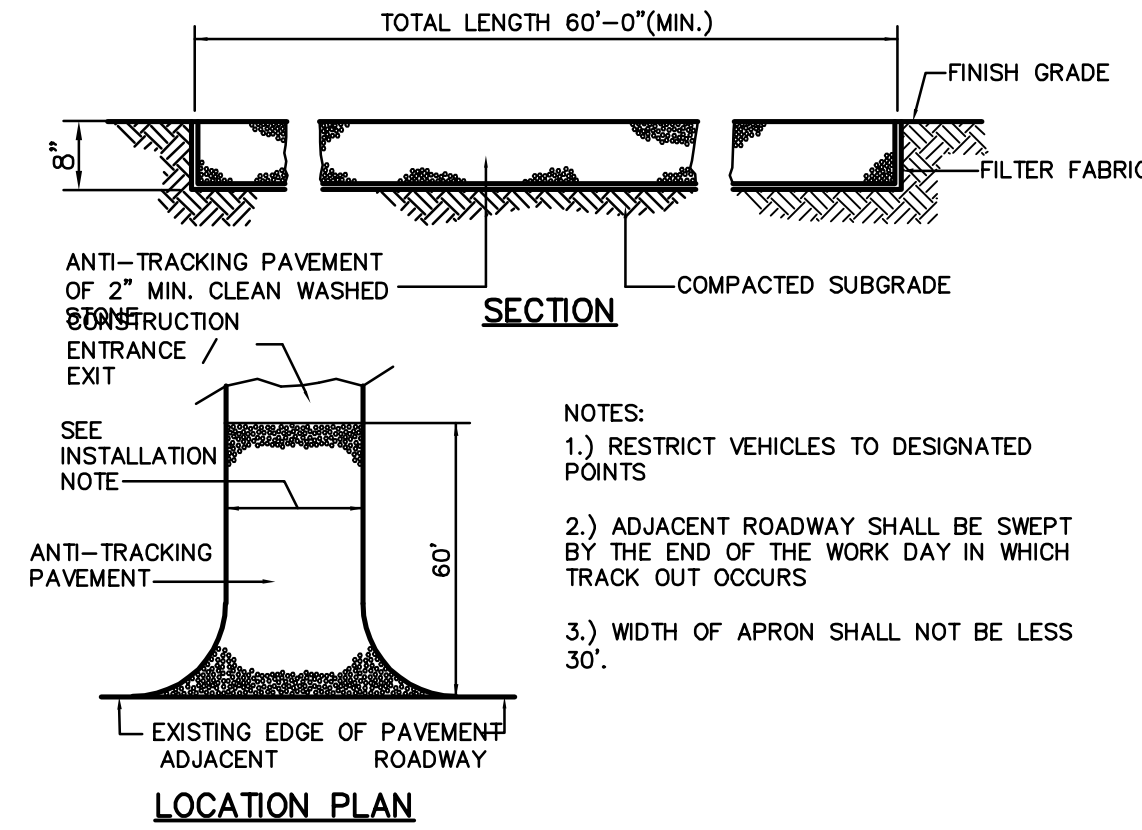
SEEDING FOR TEMPORARY COVER



PRACTICE: CONSTRUCTION FENCE WITH WINDSCREEN

ATTACH WINDSCREEN SECURELY TO FENCE; REATTACH AS NECESSARY TO MAINTAIN FABRIC AGAINST FENCE; DO NOT LEAVE GAPS IN SCREENING. REPLACE WINDSCREEN FABRIC IF IT APPEARS RIPPED OR TORN.

CONSTRUCTION FENCE WITH WIND SCREEN
NOT TO SCALE



NOTES:

- RESTRICT VEHICLES TO DESIGNATED POINTS
- ADJACENT ROADWAY SHALL BE SWEEP BY THE END OF THE WORK DAY IN WHICH TRACK OUT OCCURS
- WIDTH OF APRON SHALL NOT BE LESS 30'

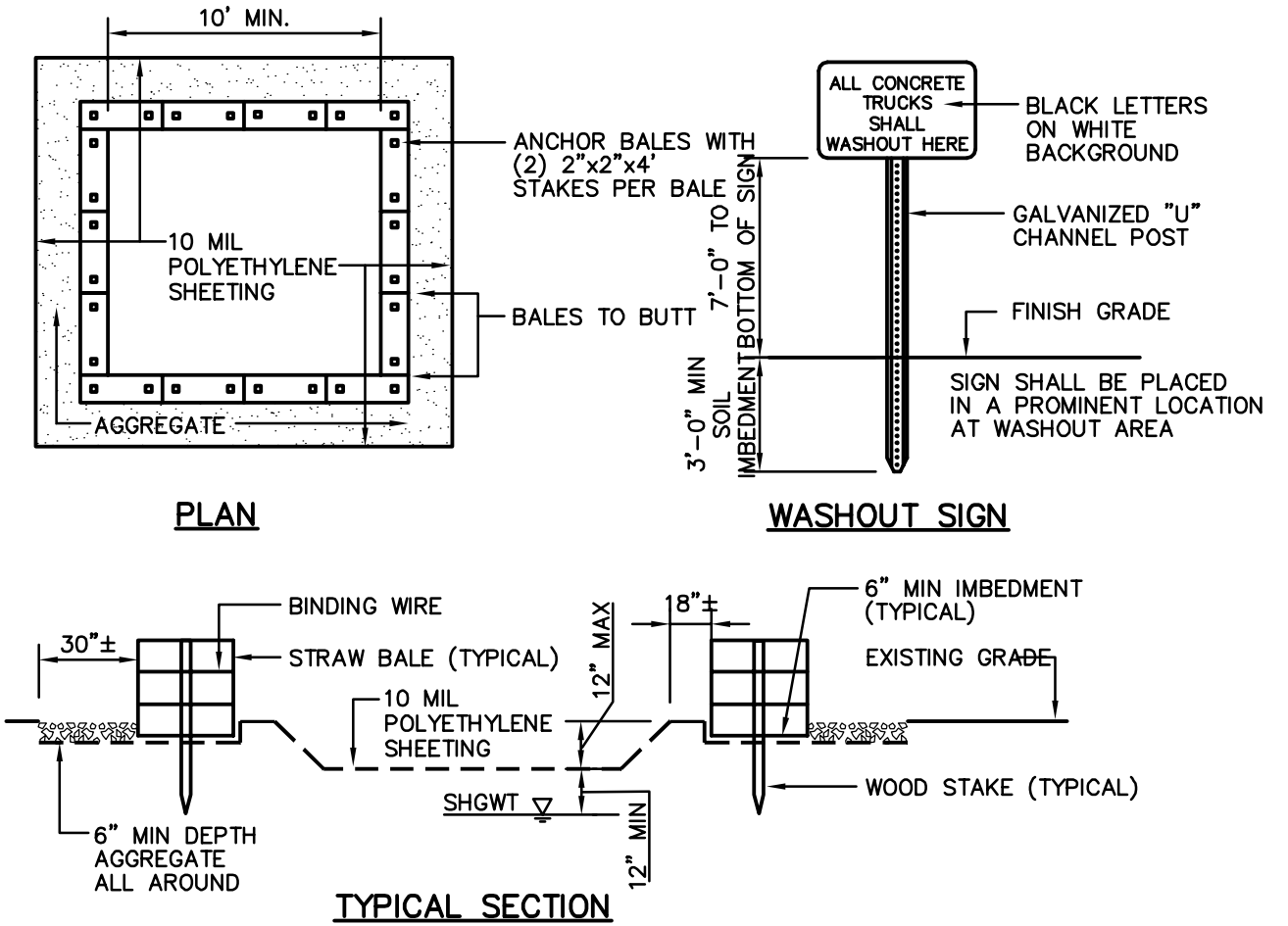
PRACTICE: STABILIZED CONSTRUCTION EXIT POINTS: IN ORDER TO ELIMINATE TRACK OUT FROM VEHICLES, STABILIZED CONSTRUCTION EXITS MUST BE INSTALLED AT THE LOCATION WHERE VEHICLES WILL EXIT THE SITE. THE CONTRACTOR MUST RESTRICT VEHICLE USE TO THE DESIGNATED EXIT LOCATIONS. PRIOR TO VEHICLE EXIT, IF THE STABILIZED EXIT IS NOT EFFECTIVELY REMOVING SEDIMENT FROM THE TIRES AND IT IS BEING TRACKED OUT OF THE WORK ZONE, VEHICLE TIRES MUST BE WASHED OR SIMILAR METHOD PROVIDED TO EFFECTIVELY REMOVE SEDIMENT FROM WHEELS AND PREVENTING TRACK-OUT (E.G. THROUGH THE USE OF RUMBLE STRIPS OR AGGREGATE STONE EITHER ALONE OR IN COMBINATION WITH OTHER PRACTICES). NO VISIBLE SIGNS OF SOIL TRACKING FROM VEHICLES SHOULD BE PRESENT ON PUBLIC ROADWAYS EXITING THE SITE.

INSTALLATION: THE STABILIZED CONSTRUCTION EXITS WILL CONSIST OF AN 8 INCH LAYER OF 2" (MIN.) STONE, PLACED OVER A LAYER OF GEOTEXTILE FABRIC IN ORDER TO PROVIDE SEPARATION FROM THE UNDERLYING SOIL AND PREVENT THE STONE FROM BEING GROUND DOWN INTO THE SOIL. THE STABILIZED CONSTRUCTION EXITS MUST BE WIDE ENOUGH TO COVER THE ENTIRE WIDTH OF THE EXIT AND FLARED WHERE IT MEETS THE ROADWAY TO ACCOMMODATE LONGER CONSTRUCTION VEHICLES. THE STABILIZED CONSTRUCTION EXIT MUST BE LONG ENOUGH TO ALLOW MUD AND SEDIMENT TO BECOME DISLOGGED FROM VEHICLE TIRES, AND/OR A MINIMUM OF SIXTY FEET (60') IN LENGTH.

MAINTENANCE: DURING THE COURSE OF CONSTRUCTION THE STABILIZED CONSTRUCTION EXIT WILL BECOME FILLED WITH ACCUMULATED SEDIMENT AND/OR THE STONE WILL BECOME COMPACTED. THE CONTRACTOR MUST REPAIR THE EXIT AS NECESSARY BY REMOVING ACCUMULATED SEDIMENT, REPLACING THE STONE OR BACK-BLADING THE STONE TO REFRESH IT. IF TRACKING OF SEDIMENT OCCURS, THE CONTRACTOR MUST REMOVE DEPOSITED SEDIMENT BY COMPLYING WITH THE FOLLOWING REQUIREMENTS:

- WHERE TRACK-OUT OF SEDIMENT OCCURS FROM THE SITE ONTO OFF-SITE STREETS, SIDEWALKS, AND OTHER PAVED AREAS, DEPOSITS MUST BE SWEEP, SHOVELED, OR VACUUMED TO REMOVE TRACK-OUT MATERIAL OR OTHER SEDIMENT DEPOSITS BY THE END OF THE SAME WORK DAY IN WHICH THE TRACK OUT IS DISCOVERED.
- HOSING OR SWEEPING TRACKED-OUT SEDIMENT INTO ANY STORMWATER CONVEYANCE, (UNLESS IT IS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL), STORM DRAIN INLET, OR SURFACE WATER IS PROHIBITED.

STABILIZED CONSTRUCTION ENTRANCE / EXIT
NOT TO SCALE



NOTES:

- CONTAINMENT MUST BE STRUCTURALLY SOUND AND LEAK FREE AND CONTAIN ALL LIQUID WASTES.
- CONTAINMENT DEVICES MUST BE OF SUFFICIENT QUANTITY OR VOLUME TO COMPLETELY CONTAIN THE LIQUID WASTES GENERATED.
- WASHOUT AREA(S) SHALL BE INSTALLED IN A LOCATION EASILY ACCESSIBLE BY CONCRETE TRUCKS.
- ONE OR MORE AREAS MAY BE INSTALLED ON THE CONSTRUCTION SITE AND MAY BE RELOCATED AS CONSTRUCTION PROGRESSES.

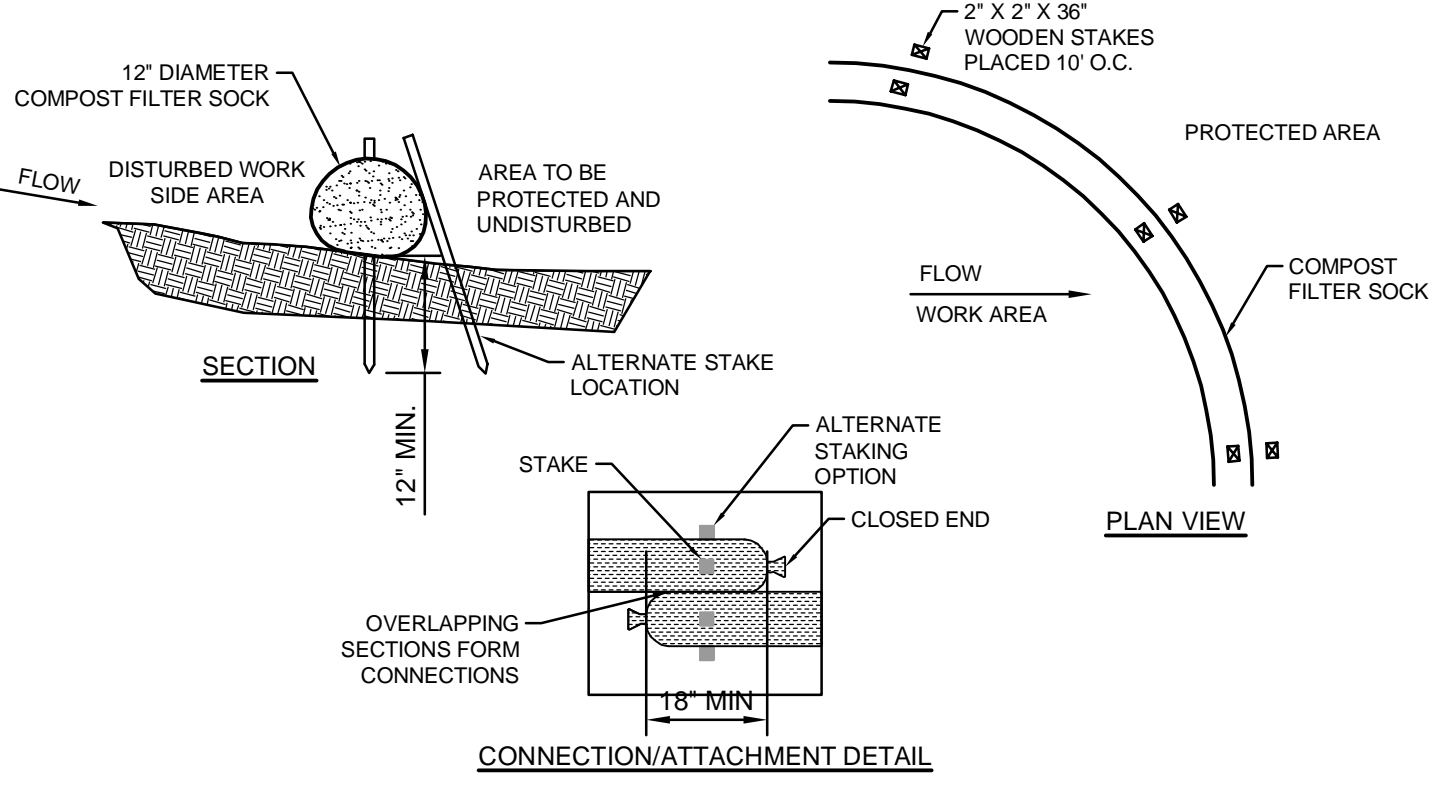
PRACTICE CONCRETE WASHOUT AREAS: CONCRETE WASHOUT AREAS CONSIST OF A PREFABRICATED OR SITE-BUILT IMPERMEABLE CONTAINMENT AREA SIZED TO HOLD CONCRETE WASTES AND WASH WATER. CONCRETE WASHOUTS WILL BE USED TO CONTAIN CONCRETE AND LIQUIDS WHEN THE CHUTES OF CONCRETE MIXERS AND HOPPERS OF CONCRETE PUMPS ARE RINSED OUT AFTER DELIVERY. THE WASHOUT FACILITIES CONSOLIDATE SOLIDS FOR EASIER DISPOSAL AND PREVENT RUNOFF OF LIQUIDS.

INSTALLATION REQUIREMENTS: THE CONCRETE WASHOUT AREA MUST BE CONSTRUCTED PRIOR TO PLACEMENT OF CONCRETE ON-SITE. THE CONCRETE WASHOUT AREA MUST BE LOCATED IN AN AREA WHERE ITS LIKELIHOOD OF CONTRIBUTING TO STORM WATER DISCHARGES IS NEGIGIBLE. WASHOUTS SHALL BE LOCATED A MINIMUM OF FIFTY FEET (50') FROM ANY STORM DRAIN INLETS, STORM WATER CONVEYANCE, SURFACE WATER OR WETLAND. THESE SPECIALLY DESIGNATED AREAS SHOULD BE PROPERLY SIGNED AND ONSITE PERSONNEL MUST INFORM THE CONCRETE VENDORS OF THE LOCATION.

MAINTENANCE REQUIREMENTS: THE HARDENED RESIDUE FROM THE CONCRETE WASHOUT AREA WILL BE DISPOSED OF IN THE SAME MANNER AS OTHER NON-HAZARDOUS CONSTRUCTION WASTE MATERIALS OR MAY BE BROKEN UP AND USED ONSITE AS APPROPRIATE. IT IS ALSO ACCEPTABLE FOR WASTE CONCRETE TO BE POURED INTO FORMS TO MAKE RIPRAP OR OTHER USEFUL CONCRETE PRODUCTS. CHECK ALL CONCRETE WASHOUT FACILITIES DAILY TO DETERMINE IF THEY HAVE BEEN FILLED TO 75 PERCENT CAPACITY, WHICH IS WHEN MATERIALS MUST BE REMOVED. BOTH ABOVE- AND BELOW- GROUND SELF-INSTALLED WASHOUTS SHOULD BE INSPECTED DAILY TO ENSURE THAT PLASTIC LININGS ARE INTACT AND SIDEWALLS HAVE NOT BEEN DAMAGED BY CONSTRUCTION ACTIVITIES.

MATERIAL REMOVAL: CONCRETE WASHOUTS ARE DESIGNED TO PROMOTE EVAPORATION WHERE FEASIBLE. HOWEVER, SINCE NOT ALL WASHOUTS ARE THE SAME, THE WASHOUT IS NEARING CAPACITY, VACUUM AND DISPOSE OF THEM IN AN APPROVED MANNER - CHECK WITH THE LOCAL SANITARY SEWER AUTHORITY TO DETERMINE IF THERE ARE SPECIAL DISPOSAL REQUIREMENTS FOR CONCRETE WASH WATER. REMOVE LIQUIDS OR COVER THE STRUCTURES BEFORE PREDICTED RAINSTORMS TO PREVENT OVERFLOWS. PREFABRICATED AND WATERTIGHT WASHOUT CONTAINER PROVIDERS GENERALLY OFFER A VACUUM SERVICE TO REMOVE THE LIQUID MATERIAL.

CONCRETE WASHOUT AREA
NOT TO SCALE



NOTES:

- PREFABRICATED COMPOST TUBE SHALL BE FILTREX SOXX OR APPROVED EQUAL.
- MATERIAL FOR SOCKS SHALL CONSIST OF SANITIZED MATURE COMPOST, FREE OF VIABLE WEED SEEDS AND FOREIGN DEBRIS SUCH AS GLASS AND PLASTIC. COMPOST SHALL BE IN SHREDED OR GRANULAR FORM AND FREE FROM HARD LUMPS. IN ADDITION, NO KILN-DRIED WOOD OR CONSTRUCTION DEBRIS SHALL BE ALLOWED.
- TUBES SHALL CONSIST OF JUTE MESH OR OTHER APPROVED BIODEGRADABLE MATERIAL.

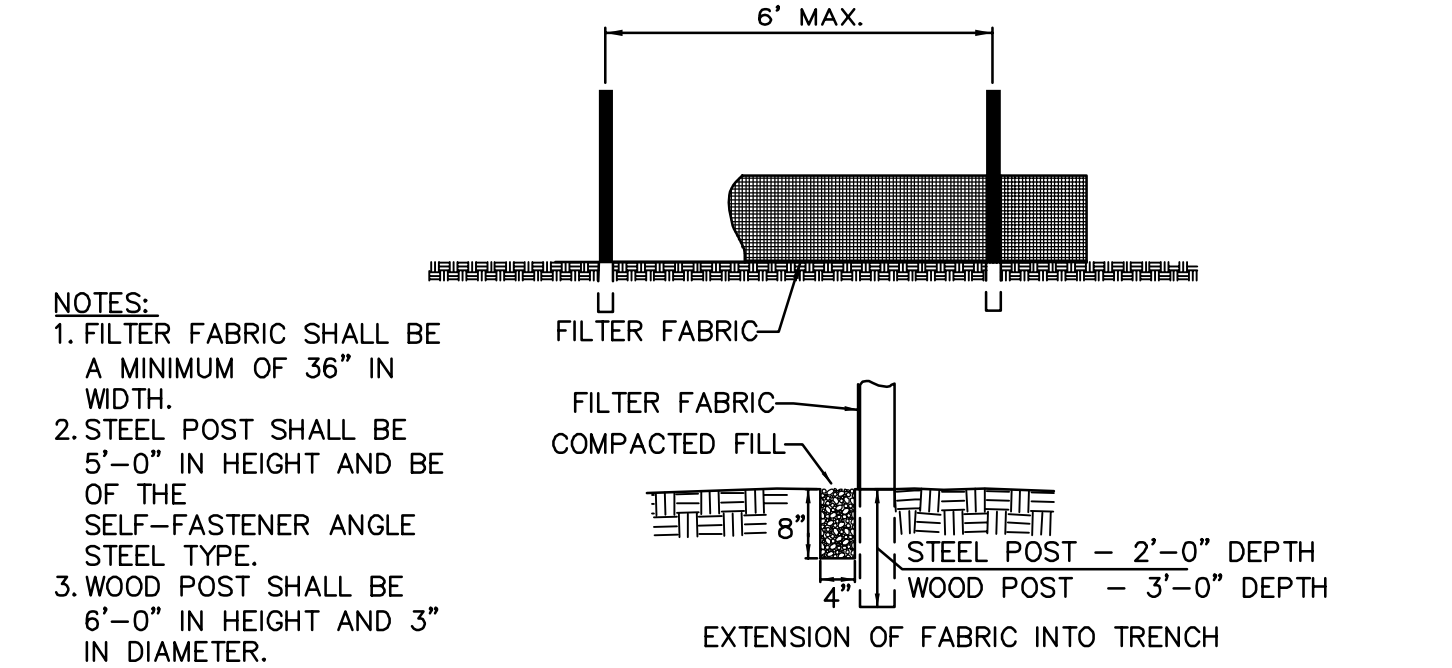
PRACTICE PERIMETER CONTROLS: PERIMETER STORMWATER SEDIMENT CONTROLS FOR THIS PROJECT WILL CONSIST OF A ROW OF SILT FENCE AND/OR FIBER ROLLS WHICH MUST BE INSTALLED PRIOR TO COMMENCING EARTH DISTURBING ACTIVITIES. AT A MINIMUM, THE SEDIMENT CONTROLS MUST BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN. CONTROLS MUST BE PLACED ALONG THE CONTOUR IN THE FLATTEST AREA POSSIBLE AT A DISTANCE FROM THE TOE OF SLOPE AND THE ENDS PLACED UP SLOPE FROM THE REST OF THE CONTROL. PERIMETER CONTROL MEASURES MUST BE USED AROUND SOIL STOCKPILES AS A SEDIMENT CONTROL MEASURE.

COMPOST FILTER TUBE: A COMPOST FILTER TUBE IS A TYPE OF CONTAINED COMPOST FILTER BERM CONSISTING OF A MESH TUBE FILLED WITH COMPOSTED MATERIAL THAT IS PLACED PERPENDICULAR TO SHEET-FLOW RUNOFF TO CONTROL EROSION AND RETAIN SEDIMENT IN DISTURBED AREAS. THE COMPOST FILTER TUBE ACTS AS A FILTER TO RETAIN SEDIMENT AND OTHER POLLUTANTS (E.G., SUSPENDED SOLIDS, NUTRIENTS) WHILE ALLOWING THE WATER TO FLOW THROUGH IT. TUBES ARE ASSEMBLED BY TYING A KNOT IN ONE END OF THE MESH TUBE, FILLING THE TUBE WITH THE COMPOSTED MATERIAL (USUALLY USING A PNEUMATIC BLOWER), THEN KNOTTING THE OTHER END ONCE THE DESIRED LENGTH IS REACHED.

INSTALLATION REQUIREMENTS: NO TRENCHING IS REQUIRED; THEREFORE, SOIL IS NOT DISTURBED UPON INSTALLATION. ONCE THE FILTER TUBE IS FILLED AND PUT IN PLACE, IT SHOULD BE ANCHORED TO THE SLOPE BY STAKES THROUGH THE CENTER OF THE TUBE AT REGULAR INTERVALS. ALTERNATIVELY, STAKES CAN BE PLACED ON THE DOWNSTREAM SIDE OF THE TUBE. THE ENDS OF THE FILTER TUBE SHOULD BE DIRECTED UP-SLOPE, TO PREVENT STORMWATER FROM RUNNING AROUND THE END OF THE TUBE.

MAINTENANCE REQUIREMENTS: IF THERE IS EXCESSIVE PONDING BEHIND THE FILTER TUBE OR ACCUMULATED SEDIMENT REACHES THE TOP OF THE TUBE, AN ADDITIONAL TUBE SHOULD BE ADDED ON TOP OR IN FRONT OF THE EXISTING FILTER TUBE IN THESE AREAS. RIPPED OR TORN SECTIONS MUST BE REPLACED.

COMPOST FILTER TUBE
NOT TO SCALE



NOTES:

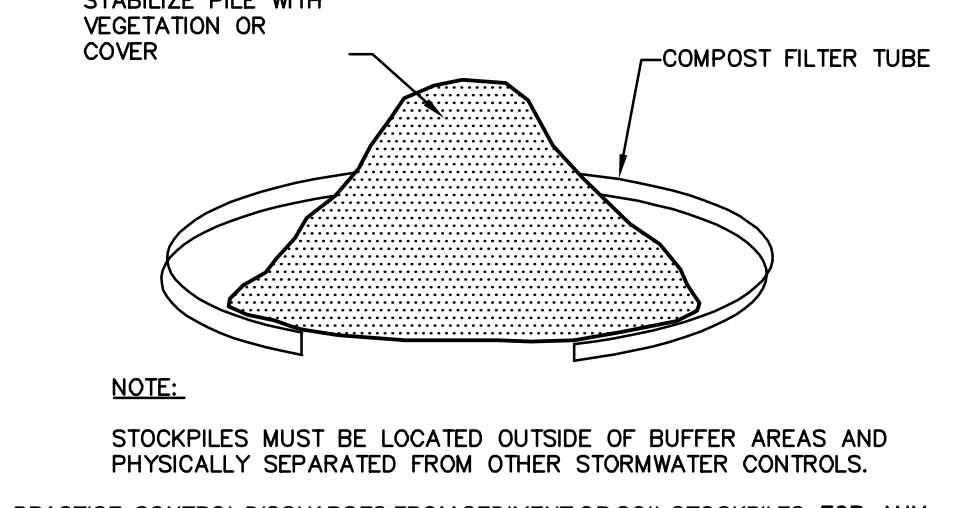
- FILTER FABRIC SHALL BE A MINIMUM OF 36" IN WIDTH
- STEEL POST SHALL BE 5'-0" IN HEIGHT AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
- WOOD POST SHALL BE 6'-0" IN HEIGHT AND 3" IN DIAMETER.

PRACTICE: SILT FENCE: SILT FENCE IS A SEDIMENT CONTROL MEASURE CONSISTING OF A LENGTH OF GEOTEXTILE FABRIC STRETCHED BETWEEN ANCHORING POSTS SPACED AT REGULAR INTERVALS. THE FENCE IS USED TO INTERCEPT FLOWS, SLOW SHEET FLOW RUNOFF AND ALLOW PONDING OF FLOW AND SEDIMENT TO SETTLE OUT. THE FILTER FABRIC SHOULD BE ENTRENCHED IN THE GROUND BETWEEN THE SUPPORT POSTS. SILT FENCE WILL BE INSTALLED AS PERIMETER PROTECTION AND WILL ALSO BE USED FOR STOCKPILE CONTROL AND ALONG SLOPE BOUNDARIES THAT WILL RECEIVE STORMWATER FLOW FROM DISTURBED AREAS.

INSTALLATION: THE GEOTEXTILE FABRIC MUST BE ENTRENCHED IN THE GROUND BETWEEN THE SUPPORT POSTS. SILT FENCE IS EFFECTIVE IN TREATING LOW VELOCITY SHEET FLOW AND IS NOT INTENDED FOR USE IN AREAS OF CONCENTRATED OR CHANNELIZED FLOW. THE STAKES USED TO ANCHOR THE FILTER FABRIC SHOULD BE WOOD OR METAL. ERECT SILT FENCE IN A CONTINUOUS FASHION FROM A SINGLE ROLL OF FABRIC TO ELIMINATE GAPS IN THE FENCE. IF A CONTINUOUS ROLL OF FABRIC IS NOT AVAILABLE, OVERLAP THE FABRIC FROM BOTH DIRECTIONS ONLY AT STAKES OR POSTS; OVERLAP AT LEAST 6 INCHES. EXCAVATE A TRENCH TO BURY THE BOTTOM OF THE FABRIC FENCE AT LEAST 6 INCHES BELOW THE GROUND SURFACE TO PREVENT GAPS FROM FORMING AT THE GROUND SURFACE.

MAINTENANCE: SILT FENCE MUST BE INSPECTED FOR RIPS, TEARS, AND GAPS BETWEEN THE FENCE AND THE GROUND. ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE SILT FENCE WHEN IT REACHES 1/2 OF THE EXPOSED HEIGHT OF THE FABRIC. AN ADEQUATE RESERVE OF SILT FENCE MUST BE KEPT ON SITE AT ALL TIMES FOR EMERGENCY AND/OR ROUTINE REPLACEMENT. IF GAPS OR TEARS ARE DISCOVERED, REPAIR OR REPLACE THE FABRIC IMMEDIATELY. SILT FENCE SHALL BE REMOVED ONLY AFTER EXPOSED SOILS IN THE CONTRIBUTING DRAINAGE AREA ACHIEVE FINAL STABILIZATION.

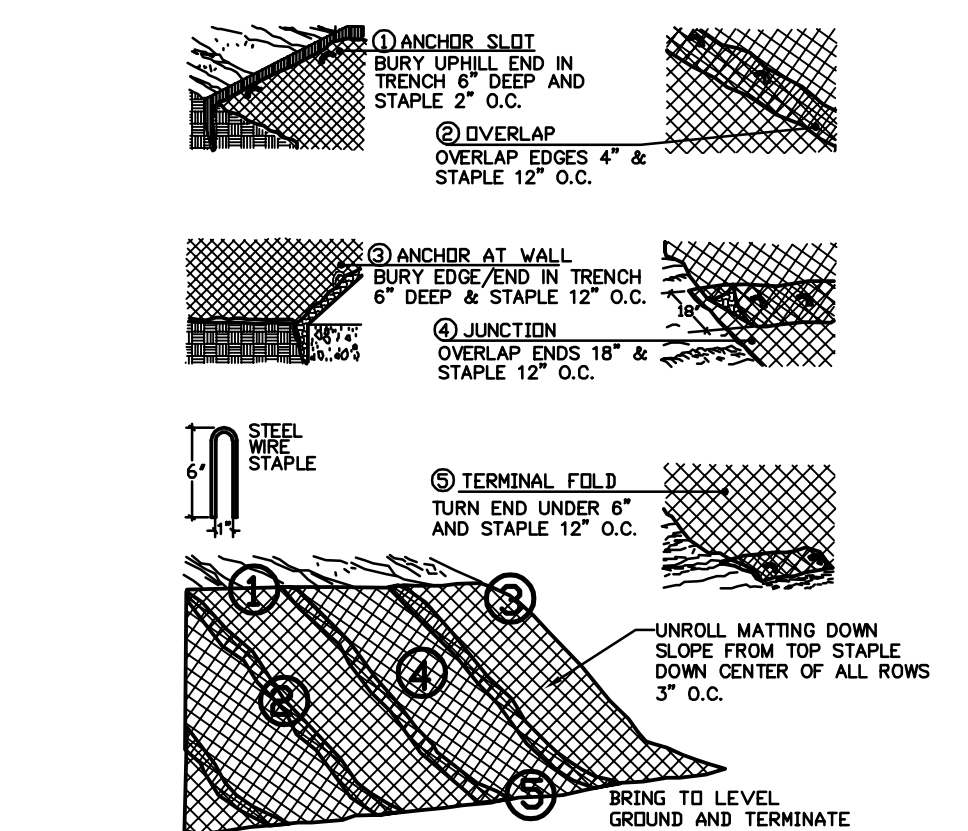
SILT FENCE
NOT TO SCALE



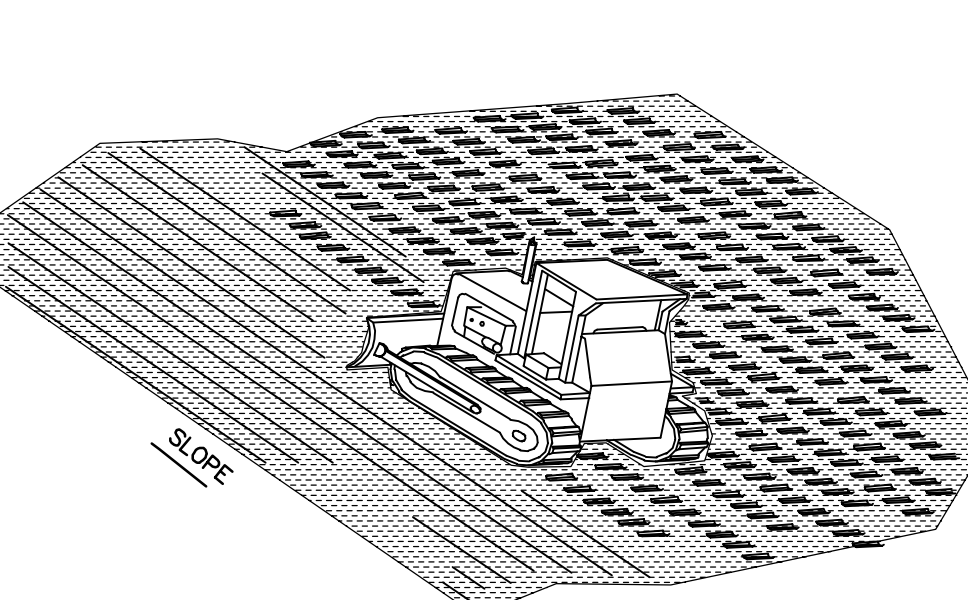
PRACTICE: CONTROL DISCHARGES FROM SEDIMENT OR SOIL STOCKPILES: FOR ANY STOCKPILED OR LAND CLEARING DEBRIS COMPOSED, IN WHOLE OR IN PART, OF SEDIMENT OR SOIL, THE FOLLOWING MEASURES MUST BE FOLLOWED:

- LOCATE THE PILES OUTSIDE OF ANY NATURAL BUFFERS AND PHYSICALLY SEPARATE FROM OTHER STORMWATER CONTROLS IMPLEMENTED;
- PROTECT FROM CONTACT WITH STORMWATER (INCLUDING RUN-ON) USING A TEMPORARY PERIMETER SEDIMENT BARRIER (SILT FENCE OR FIBER ROLL);
- PROVIDE COVER OR APPROPRIATE TEMPORARY STABILIZATION TO AVOID DIRECT CONTACT WITH PRECIPITATION OR TO MINIMIZE SEDIMENT DISCHARGE;
- DO NOT HOSE DOWN OR SWEEP SOIL OR SEDIMENT ACCUMULATED ON PAVEMENT OR OTHER IMPERVIOUS SURFACES INTO ANY STORMWATER CONVEYANCE (UNLESS CONNECTED TO A SEDIMENT BASIN, SEDIMENT TRAP, OR SIMILARLY EFFECTIVE CONTROL), STORM DRAIN INLET, OR SURFACE WATER; AND
- UNLESS INFEASIBLE, CONTAIN AND SECURELY PROTECT FROM WIND.

SOIL STOCKPILE CONTROL
NOT TO SCALE



SLOPE EROSION CONTROL MATERIAL
NOT TO SCALE



TRACKING DETAIL
NOT TO SCALE

FINISH GRADE

3:1

FLARED END

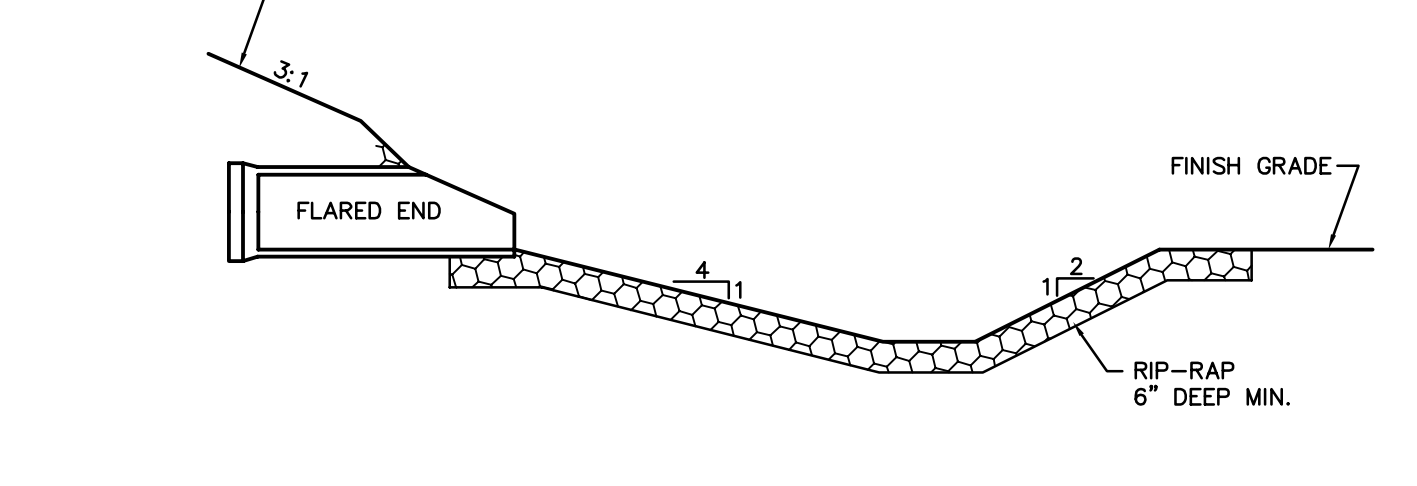
2

1

4

1

RIP-RAP 6" DEEP MIN.

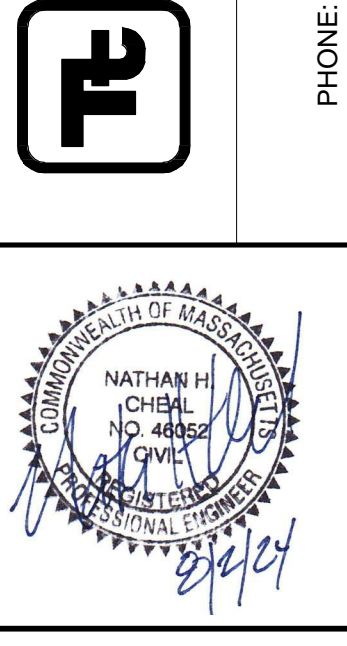


PRACTICE: OUTLET STABILIZATION AND VELOCITY DISSIPATION: OUTLET STABILIZATION AND VELOCITY DISSIPATION MEASURES WILL BE INSTALLED AT THE OUTLETS OF DRAINAGE CHANNELS, CONVEYANCES, SWALES, OR DIVERSIONS, AND BASIN OUTLETS, WHERE THE VELOCITY OF THE DISCHARGE MAY RESULT IN EROSION AT THE OUTLET OR RECEIVING CHANNEL OR DEVELOPMENT OF A PLUNGE POOL. OUTLET STABILIZATION/VELOCITY DISSIPATION MEASURES WILL INCLUDE THE PLACEMENT OF RIPRAP OR CONSTRUCTION OF A CONCRETE DISSIPATION STRUCTURE AT THE DISCHARGE LOCATION.

INSTALLATION REQUIREMENTS: DURABLE ANGULAR ROCK SHALL BE UNDERLAIN FILTER FABRIC AND ALIGNED WITH THE RECEIVING WATER OR BASIN.

MAINTENANCE REQUIREMENTS: INSPECT THE APRON FOR DISPLACEMENT OF RIPRAP AND ANY DAMAGE TO UNDERLYING FABRIC. REPAIR FABRIC AND REPLACE RIP RAP THAT HAS WASHED AWAY. IF RIPRAP CONTINUES TO WASH AWAY, REPLACE WITH LARGER DIAMETER ROCK. INSPECT FOR SCOUR BENEATH THE RIP RAP AND AROUND THE OUTLET AND REPAIR DAMAGE TO SLOPE.

OUTLET STABILIZATION
NOT TO SCALE



BY _____

DATE _____

DESCRIPTION
CONCEPTUAL SITE PLANS

MARK 1 8/22/24

CLIENT: Hanover R.S. Limited Partnership
100 Wilkens Lane, Hyannis, MA
Conceptual Site Plans
Hanover Hyannis II

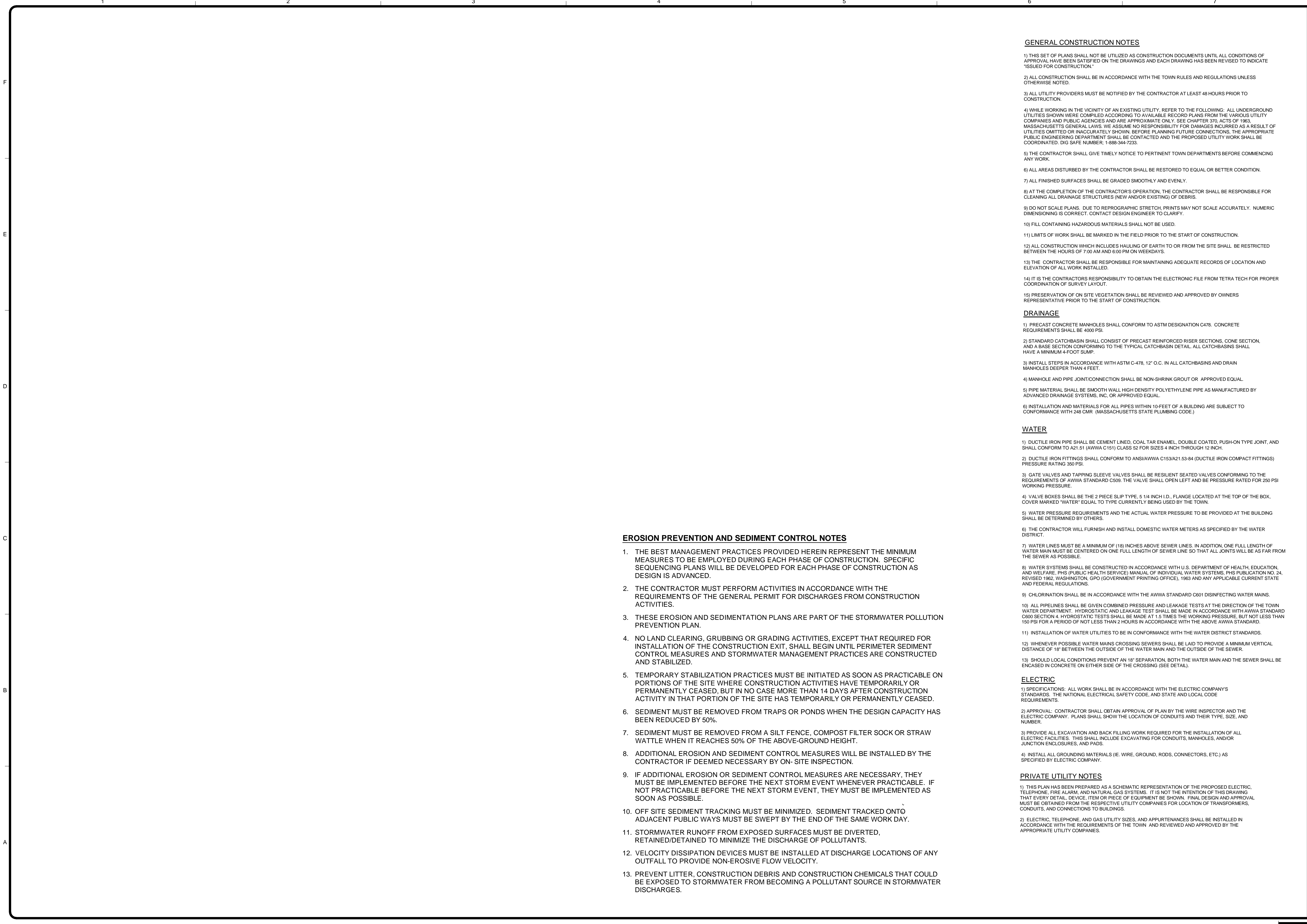
APPLICANT: HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION: MIXED-USE SUBZONE OF THE MEDICAL SERVICES OVERLAY DISTRICT

Project No.: 143-26700-20001
Designed By: N.H.C.
Drawn By: J.L.P.
Checked By: N.H.C.

C-35

7/29/2024 11:56:28 AM - P:\26700\143-26700-23001\CAD\SHEETFILES\C-DETAIL SHEET.DWG - PAPPAS, JUD



GENERAL CONSTRUCTION NOTES

- 1) THIS SET OF PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION."
- 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN RULES AND REGULATIONS UNLESS OTHERWISE NOTED.
- 3) ALL UTILITY PROVIDERS MUST BE NOTIFIED BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
- 4) WHILE WORKING IN THE VICINITY OF AN EXISTING UTILITY, REFER TO THE FOLLOWING: ALL UNDERGROUND UTILITIES SHOWN WERE COMPILED ACCORDING TO AVAILABLE RECORD PLANS FROM THE VARIOUS UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. SEE CHAPTER 370, ACTS OF 1983, MASSACHUSETTS GENERAL LAWS. WE ASSUME NO RESPONSIBILITY FOR DAMAGES INCURRED AS A RESULT OF UTILITIES OMITTED OR INACCURATELY SHOWN. BEFORE PLANNING FUTURE CONNECTIONS, THE APPROPRIATE PUBLIC ENGINEERING DEPARTMENT SHALL BE CONTACTED AND THE PROPOSED UTILITY WORK SHALL BE COORDINATED. DIG SAFE NUMBER: 1-888-344-7233.
- 5) THE CONTRACTOR SHALL GIVE TIMELY NOTICE TO PERTINENT TOWN DEPARTMENTS BEFORE COMMENCING ANY WORK.
- 6) ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO EQUAL OR BETTER CONDITION.
- 7) ALL FINISHED SURFACES SHALL BE GRADED SMOOTHLY AND EVENLY.
- 8) AT THE COMPLETION OF THE CONTRACTOR'S OPERATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL DRAINAGE STRUCTURES (NEW AND/OR EXISTING) OF DEBRIS.
- 9) DO NOT SCALE PLANS. DUE TO REPROGRAPHIC STRETCH, PRINTS MAY NOT SCALE ACCURATELY. NUMERIC DIMENSIONING IS CORRECT. CONTACT DESIGN ENGINEER TO CLARIFY.
- 10) FILL CONTAINING HAZARDOUS MATERIALS SHALL NOT BE USED.
- 11) LIMITS OF WORK SHALL BE MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
- 12) ALL CONSTRUCTION WHICH INCLUDES HAULING OF EARTH TO OR FROM THE SITE SHALL BE RESTRICTED BETWEEN THE HOURS OF 7:00 AM AND 6:00 PM ON WEEKDAYS.
- 13) THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE RECORDS OF LOCATION AND ELEVATION OF ALL WORK INSTALLED.
- 14) IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE ELECTRONIC FILE FROM TETRA TECH FOR PROPER COORDINATION OF SURVEY LAYOUT.
- 15) PRESERVATION OF ON SITE VEGETATION SHALL BE REVIEWED AND APPROVED BY OWNERS REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION.

DRAINAGE

- 1) PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM DESIGNATION C478. CONCRETE REQUIREMENTS SHALL BE 4000 PSI.
- 2) STANDARD CATCHBASIN SHALL CONSIST OF PRECAST REINFORCED RISER SECTIONS, CONE SECTION, AND A BASE SECTION CONFORMING TO THE TYPICAL CATCHBASIN DETAIL. ALL CATCHBASINS SHALL HAVE A MINIMUM 4-FOOT SUMP.
- 3) INSTALL STEPS IN ACCORDANCE WITH ASTM C-478, 12" O.C. IN ALL CATCHBASINS AND DRAIN MANHOLES DEEPER THAN 4 FEET.
- 4) MANHOLE AND PIPE JOINT/CONNECTION SHALL BE NON-SHRINK GROUT OR APPROVED EQUAL.
- 5) PIPE MATERIAL SHALL BE SMOOTH WALL HIGH DENSITY POLYETHYLENE PIPE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. OR APPROVED EQUAL.
- 6) INSTALLATION AND MATERIALS FOR ALL PIPES WITHIN 10-FEET OF A BUILDING ARE SUBJECT TO CONFORMANCE WITH 248 CMR (MASSACHUSETTS STATE PLUMBING CODE.)

WATER

- 1) DUCTILE IRON PIPE SHALL BE CEMENT LINED, COAL TAR ENAMEL, DOUBLE COATED, PUSH-ON TYPE JOINT, AND SHALL CONFORM TO A21.51 (AWWA C151) CLASS 52 FOR SIZES 4 INCH THROUGH 12 INCH.
- 2) DUCTILE IRON FITTINGS SHALL CONFORM TO ANSIAWWA C153/A21.53-84 (DUCTILE IRON COMPACT FITTINGS) PRESSURE RATING 350 PSI.
- 3) GATE VALVES AND TAPPING SLEEVE VALVES SHALL BE RESILIENT SEATED VALVES CONFORMING TO THE REQUIREMENTS OF AWWA STANDARD C509. THE VALVE SHALL OPEN LEFT AND BE PRESSURE RATED FOR 250 PSI WORKING PRESSURE.
- 4) VALVE BOXES SHALL BE THE 2 PIECE SLIP TYPE, 5 1/4 INCH I.D., FLANGE LOCATED AT THE TOP OF THE BOX, COVER MARKED "WATER" EQUAL TO TYPE CURRENTLY BEING USED BY THE TOWN.
- 5) WATER PRESSURE REQUIREMENTS AND THE ACTUAL WATER PRESSURE TO BE PROVIDED AT THE BUILDING SHALL BE DETERMINED BY OTHERS.
- 6) THE CONTRACTOR WILL FURNISH AND INSTALL DOMESTIC WATER METERS AS SPECIFIED BY THE WATER DISTRICT.
- 7) WATER LINES MUST BE A MINIMUM OF (18) INCHES ABOVE SEWER LINES. IN ADDITION, ONE FULL LENGTH OF WATER MAIN MUST BE CENTERED ON ONE FULL LENGTH OF SEWER LINE SO THAT ALL JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
- 8) WATER SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH U.S. DEPARTMENT OF HEALTH, EDUCATION, AND WELFARE, PHS (PUBLIC HEALTH SERVICE) MANUAL OF INDIVIDUAL WATER SYSTEMS, PHS PUBLICATION NO. 24, REVISED 1962, WASHINGTON, GPO (GOVERNMENT PRINTING OFFICE), 1963 AND ANY APPLICABLE CURRENT STATE AND FEDERAL REGULATIONS.
- 9) CHLORINATION SHALL BE IN ACCORDANCE WITH THE AWWA STANDARD C601 DISINFECTING WATER MAINS.
- 10) ALL PIPELINES SHALL BE GIVEN COMBINED PRESSURE AND LEAKAGE TESTS AT THE DIRECTION OF THE TOWN WATER DEPARTMENT. HYDROSTATIC AND LEAKAGE TEST SHALL BE MADE IN ACCORDANCE WITH AWWA STANDARD C600 SECTION 4. HYDROSTATIC TESTS SHALL BE MADE AT 1.5 TIMES THE WORKING PRESSURE, BUT NOT LESS THAN 150 PSI FOR A PERIOD OF NOT LESS THAN 2 HOURS IN ACCORDANCE WITH THE ABOVE AWWA STANDARD.
- 11) INSTALLATION OF WATER UTILITIES TO BE IN CONFORMANCE WITH THE WATER DISTRICT STANDARDS.
- 12) WHENEVER POSSIBLE WATER MAINS CROSSING SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER.
- 13) SHOULD LOCAL CONDITIONS PREVENT AN 18" SEPARATION, BOTH THE WATER MAIN AND THE SEWER SHALL BE ENCASED IN CONCRETE ON EITHER SIDE OF THE CROSSING (SEE DETAIL).

ELECTRIC

- 1) SPECIFICATIONS: ALL WORK SHALL BE IN ACCORDANCE WITH THE ELECTRIC COMPANY'S STANDARDS, THE NATIONAL ELECTRICAL SAFETY CODE, AND STATE AND LOCAL CODE REQUIREMENTS.
- 2) APPROVAL: CONTRACTOR SHALL OBTAIN APPROVAL OF PLAN BY THE WIRE INSPECTOR AND THE ELECTRIC COMPANY. PLANS SHALL SHOW THE LOCATION OF CONDUITS AND THEIR TYPE, SIZE, AND NUMBER.
- 3) PROVIDE ALL EXCAVATION AND BACK FILLING WORK REQUIRED FOR THE INSTALLATION OF ALL ELECTRIC FACILITIES. THIS SHALL INCLUDE EXCAVATING FOR CONDUITS, MANHOLES, AND/OR JUNCTION ENCLOSURES, AND PADS.
- 4) INSTALL ALL GROUNDING MATERIALS (IE. WIRE, GROUND, RODS, CONNECTORS, ETC.) AS SPECIFIED BY ELECTRIC COMPANY.

PRIVATE UTILITY NOTES

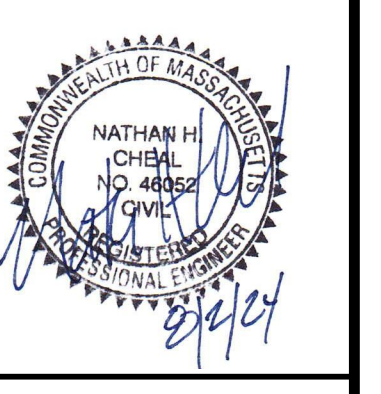
- 1) THIS PLAN HAS BEEN PREPARED AS A SCHEMATIC REPRESENTATION OF THE PROPOSED ELECTRIC, TELEPHONE, FIRE ALARM, AND NATURAL GAS SYSTEMS. IT IS NOT THE INTENTION OF THIS DRAWING THAT EVERY DETAIL, DEVICE, ITEM OR PIECE OF EQUIPMENT BE SHOWN. FINAL DESIGN AND APPROVAL MUST BE OBTAINED FROM THE RESPECTIVE UTILITY COMPANIES FOR LOCATION OF TRANSFORMERS, CONDUITS, AND CONNECTIONS TO BUILDINGS.
- 2) ELECTRIC, TELEPHONE, AND GAS UTILITY SIZES, AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TOWN AND REVIEWED AND APPROVED BY THE APPROPRIATE UTILITY COMPANIES.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- 1. THE BEST MANAGEMENT PRACTICES PROVIDED HEREIN REPRESENT THE MINIMUM MEASURES TO BE EMPLOYED DURING EACH PHASE OF CONSTRUCTION. SPECIFIC SEQUENCING PLANS WILL BE DEVELOPED FOR EACH PHASE OF CONSTRUCTION AS DESIGN IS ADVANCED.
- 2. THE CONTRACTOR MUST PERFORM ACTIVITIES IN ACCORDANCE WITH THE REQUIREMENTS OF THE GENERAL PERMIT FOR DISCHARGES FROM CONSTRUCTION ACTIVITIES.
- 3. THESE EROSION AND SEDIMENTATION PLANS ARE PART OF THE STORMWATER POLLUTION PREVENTION PLAN.
- 4. NO LAND CLEARING, GRUBBING OR GRADING ACTIVITIES, EXCEPT THAT REQUIRED FOR INSTALLATION OF THE CONSTRUCTION EXIT, SHALL BEGIN UNTIL PERIMETER SEDIMENT CONTROL MEASURES AND STORMWATER MANAGEMENT PRACTICES ARE CONSTRUCTED AND STABILIZED.
- 5. TEMPORARY STABILIZATION PRACTICES MUST BE INITIATED AS SOON AS PRACTICABLE ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
- 6. SEDIMENT MUST BE REMOVED FROM TRAPS OR PONDS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
- 7. SEDIMENT MUST BE REMOVED FROM A SILT FENCE, COMPOST FILTER SOCK OR STRAW WATTLE WHEN IT REACHES 50% OF THE ABOVE-GROUND HEIGHT.
- 8. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED BY THE CONTRACTOR IF DEEMED NECESSARY BY ON-SITE INSPECTION.
- 9. IF ADDITIONAL EROSION OR SEDIMENT CONTROL MEASURES ARE NECESSARY, THEY MUST BE IMPLEMENTED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF NOT PRACTICABLE BEFORE THE NEXT STORM EVENT, THEY MUST BE IMPLEMENTED AS SOON AS POSSIBLE.
- 10. OFF SITE SEDIMENT TRACKING MUST BE MINIMIZED. SEDIMENT TRACKED ONTO ADJACENT PUBLIC WAYS MUST BE SWEEPED BY THE END OF THE SAME WORK DAY.
- 11. STORMWATER RUNOFF FROM EXPOSED SURFACES MUST BE DIVERTED, RETAINED/DETAINED TO MINIMIZE THE DISCHARGE OF POLLUTANTS.
- 12. VELOCITY DISSIPATION DEVICES MUST BE INSTALLED AT DISCHARGE LOCATIONS OF ANY OUTFALL TO PROVIDE NON-EROSIVE FLOW VELOCITY.
- 13. PREVENT LITTER, CONSTRUCTION DEBRIS AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.

TETRA TECH

www.tetratech.com
100 Nickerson Road
Marlborough, MA 01752
PHONE: (508) 786-2200 FAX: (508) 786-2201



APPLICANT:
HANOVER R.S. LIMITED PARTNERSHIP
1 MARINA PARK DRIVE
SUITE 701
BOSTON, MA 02210

ZONING CLASSIFICATION:
MIXED-USE SUBZONE OF THE
MEDICAL SERVICES OVERLAY DISTRICT

MARK	DATE	DESCRIPTION
1	8/2/24	CONCEPTUAL SITE PLANS

Client: Hanover R.S. Limited Partnership
Proj. Loc.: Wilkins Lane, Hyannis, MA

Conceptual Site Plans
Hanover Hyannis II

Detail Sheet

Project No.: 143-26700-2001

Designed By: N.H.C.

Drawn By: J.L.P.

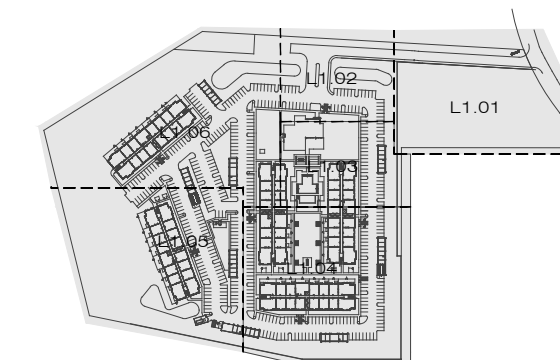
Checked By: N.H.C.

C-36

Copyright: Tetra Tech

Bar Measures 1 inch

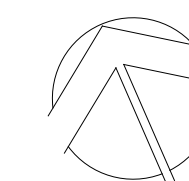
HANOVER
HYANNIS II
Wilkens Lane
Hyannis, MA 02630



ISSUES AND REVISIONS:

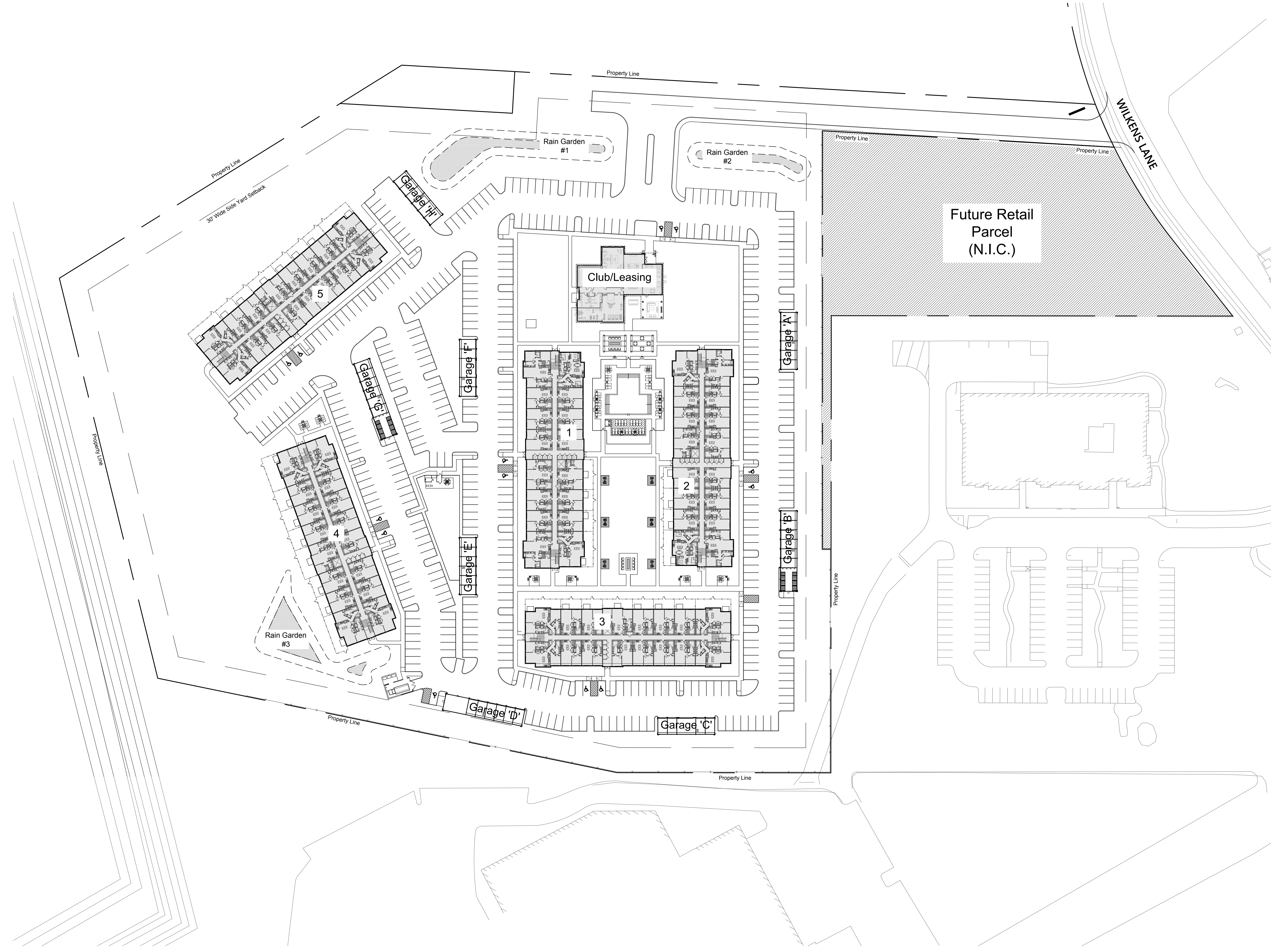
08/02/2024 - SITE PLAN FILING

SITE PLAN



DRAWN: _____ AD/BM
PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

SHEET NUMBER: **L1.00**





HANOVER
LANDSCAPE
ARCHITECTURE

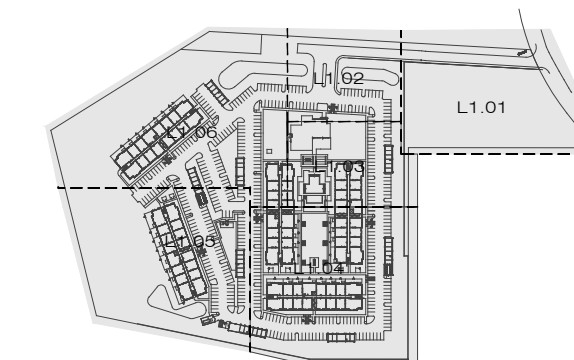
1780 S. POST OAK LANE
HOUSTON, TX 77056
713.267.2100 www.HanoverCo.com

HANOVER HYANNIS II

Wilkens Lane
Hyannis, MA 02630



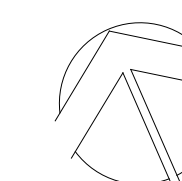
Ed Meyer



ISSUES AND REVISIONS:

08/02/2024 - SITE PLAN FILING

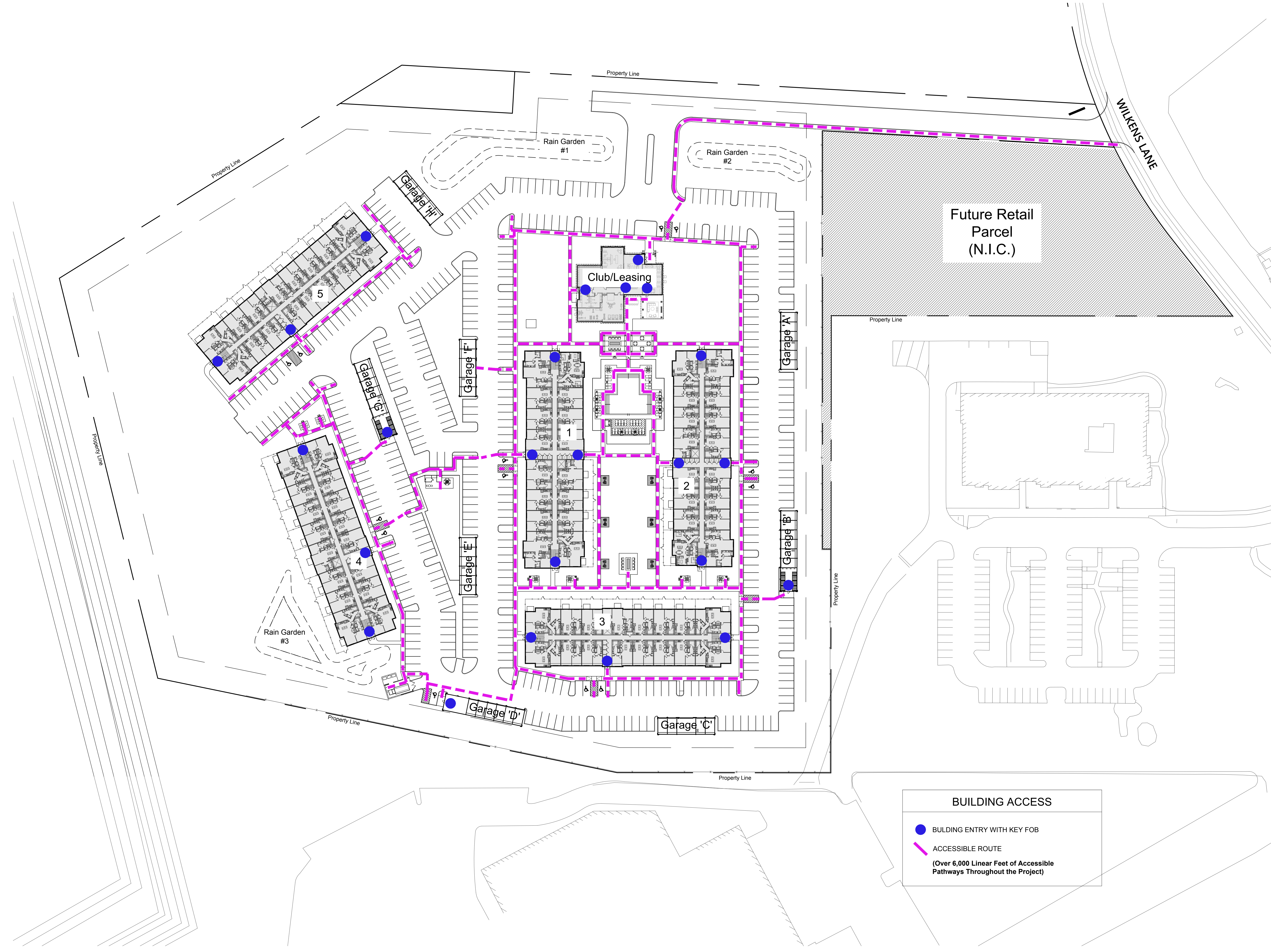
SITE PLAN ACCESSIBLE ROUTE



0 25 50 100 150
Feet

DRAWN: AD/BM
PROJECT: 643
PLOT DATE: 08-02-2024

SHEET NUMBER: **L1.AR**



BUILDING ACCESS

- BUILDING ENTRY WITH KEY FOB
- ACCESSIBLE ROUTE
(Over 6,000 Linear Feet of Accessible Pathways Throughout the Project)



HANOVER
LANDSCAPE
ARCHITECTURE

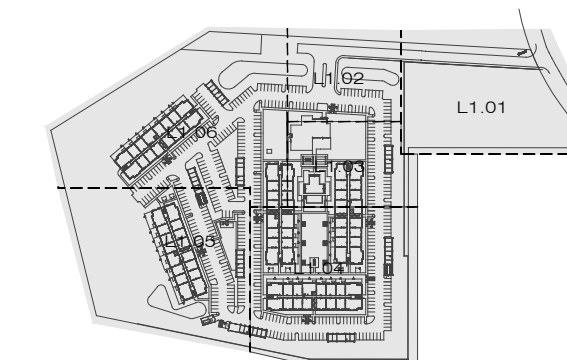
1780 S. POST OAK LANE
HOUSTON, TX 77056
713.267.2100 www.HanoverCo.com

HANOVER HYANNIS II

Wilkens Lane
Hyannis, MA 02630



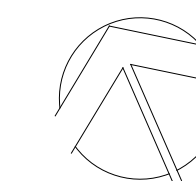
Ed Meyer



ISSUES AND REVISIONS:

08/02/2024 - SITE PLAN FILING

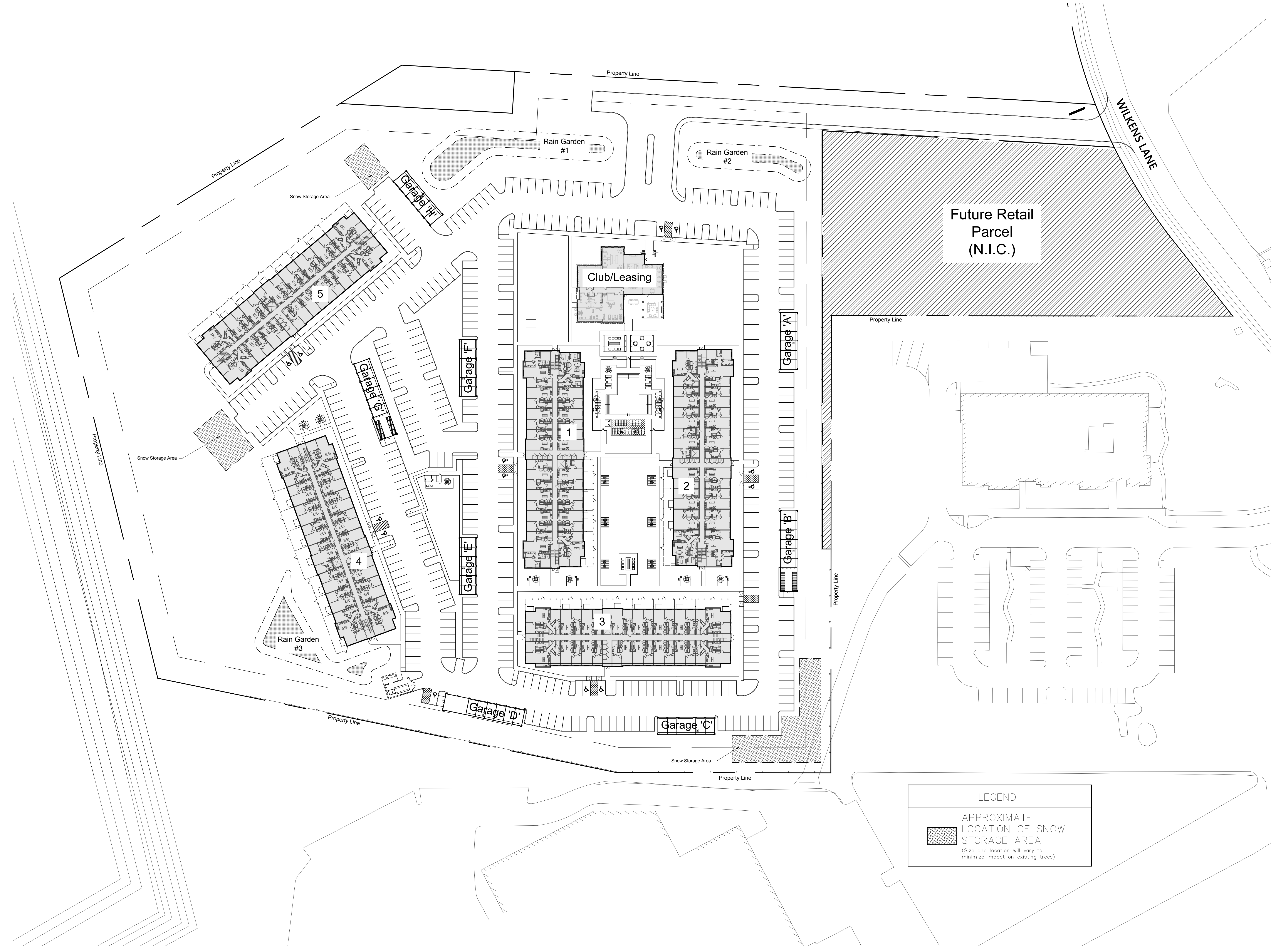
SITE PLAN SNOW STORAGE PLAN



0 25 50 100 150
Feet

DRAWN: AD/BM
PROJECT: 643
PLOT DATE: 08-02-2024

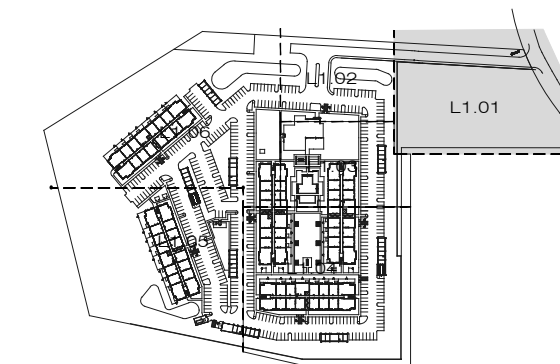
SHEET
NUMBER: **L1.SP**



LEGEND

APPROXIMATE
LOCATION OF SNOW
STORAGE AREA
(Size and location will vary to
minimize impact on existing trees)

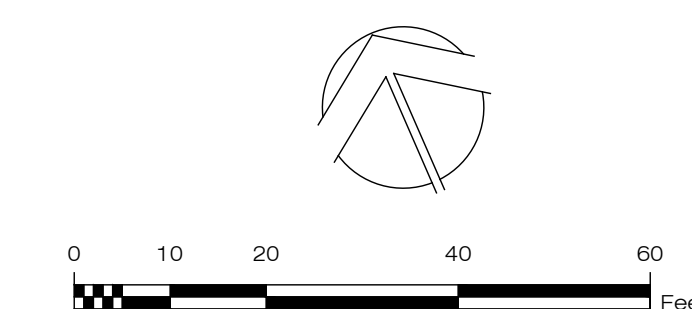
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ISSUES AND REVISIONS:

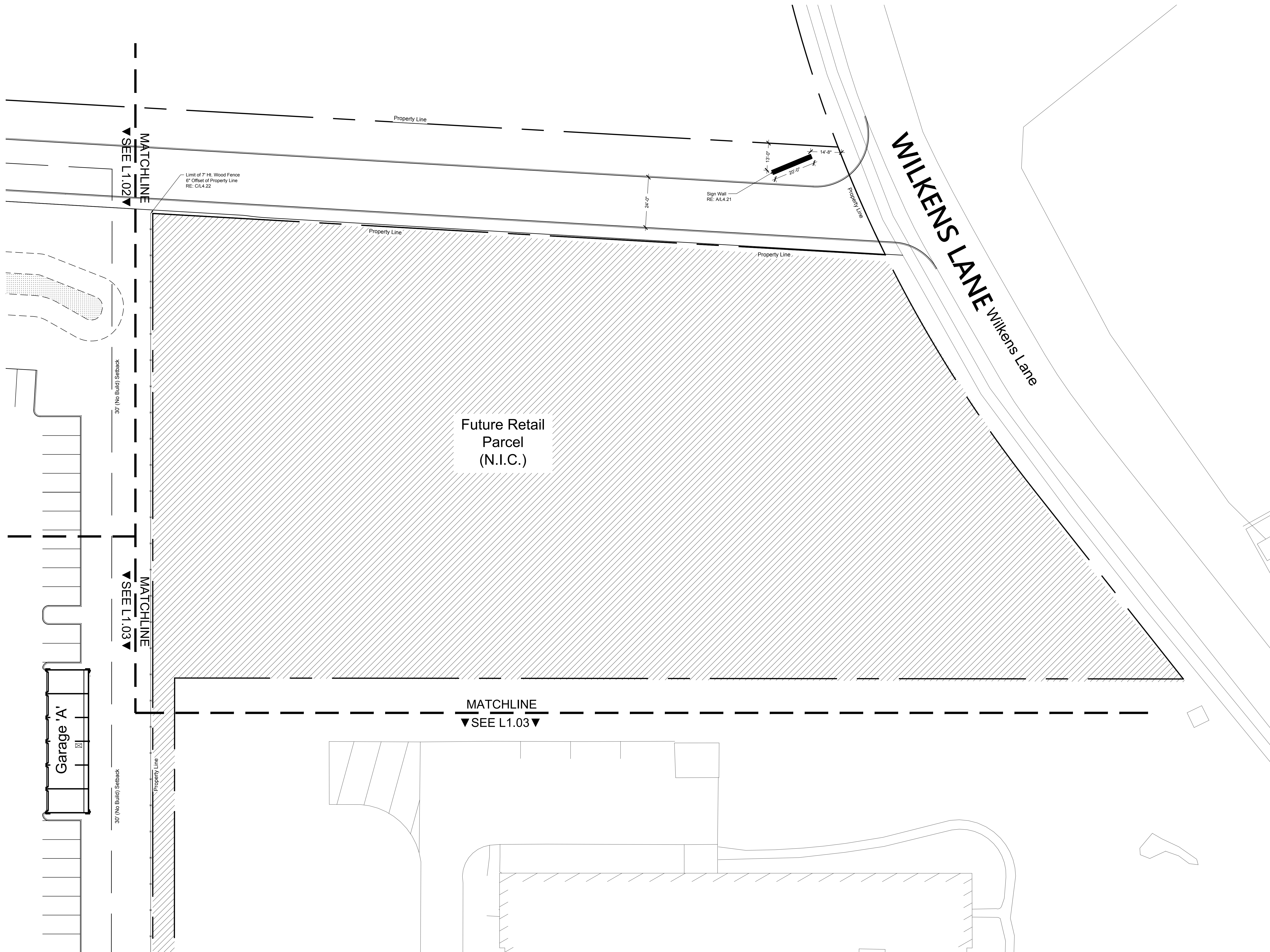
08/02/2024 - SITE PLAN FILING

LAYOUT PLAN



DRAWN: _____ AD/IBM
PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

SHEET NUMBER: **L1.01**





HANOVER
LANDSCAPE
ARCHITECTURE

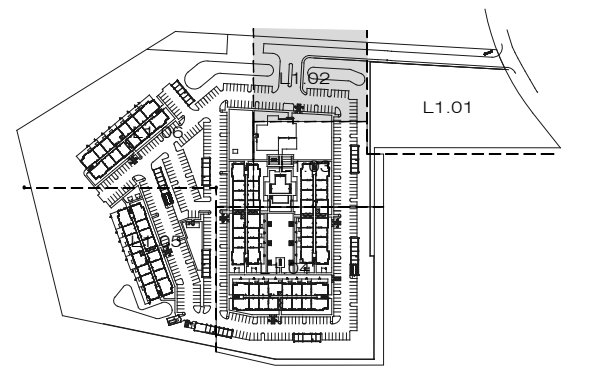
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713.267.2100 www.HanoverCo.com

HANOVER HYANNIS II

Wilkins Lane
Hyannis, MA 02630



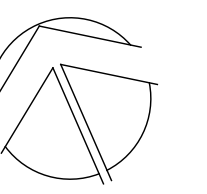
Elizabeth A. Hyman



ISSUES AND REVISIONS:

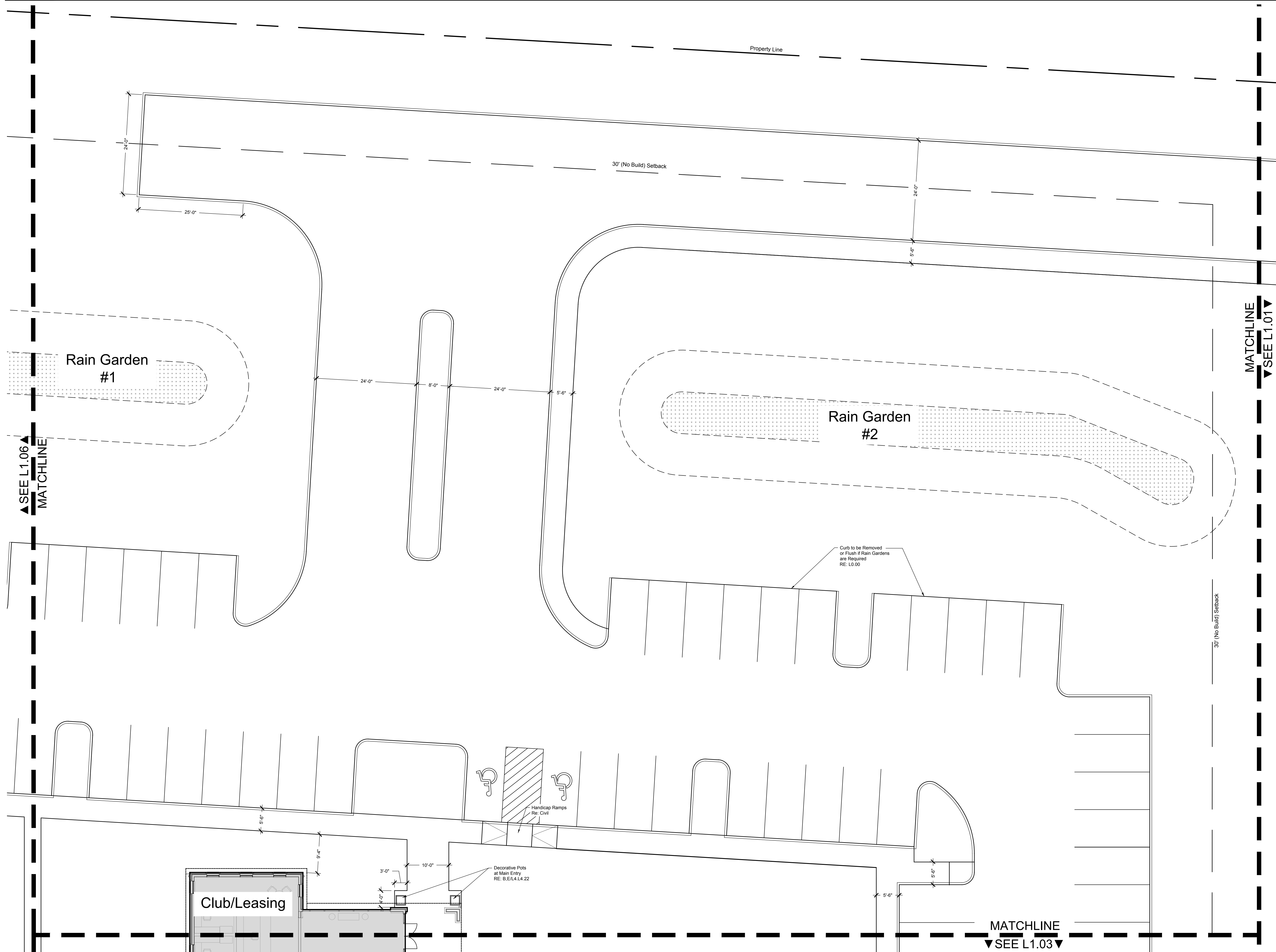
08/02/2024 - SITE PLAN FILING

LAYOUT PLAN



DRAWN: AD/IBM
PROJECT: 643
PLOT DATE: 08-02-2024

SHEET NUMBER: **L1.02**



Property Line

30' (No Build) Setback

MATCHLINE
SEE L1.01

SEE L1.06
MATCHLINE

30' (No Build) Setback

MATCHLINE
SEE L1.03

Curb to be Removed
or Flush if Rain Gardens
are Required
RE: L0.00

Handicap Ramps
Re: Civil

Decorative Pots
at Main Entry
RE: B.E/L4.L4.22

Club/Leasing

Rain Garden
#1

Rain Garden
#2

24'-0"
25'-0"

24'-0" 8'-0" 24'-0" 5'-6"

24'-0"
5'-6"

5'-6"
9'-4"
3'-0"
10'-0"
4'-10"

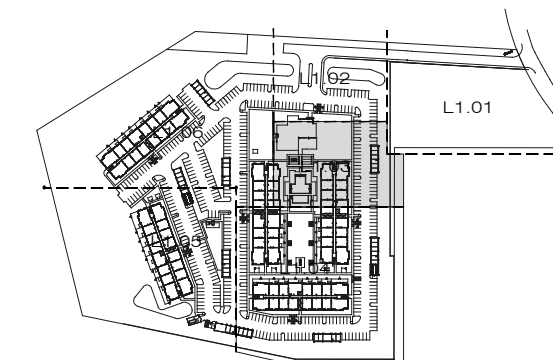
5'-6"

5'-6"

HANOVER
HYANNIS II
Wilkens Lane
Hyannis, MA 02630



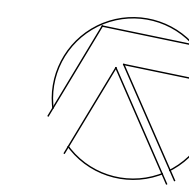
Elizabeth A. Ryan



ISSUES AND REVISIONS:

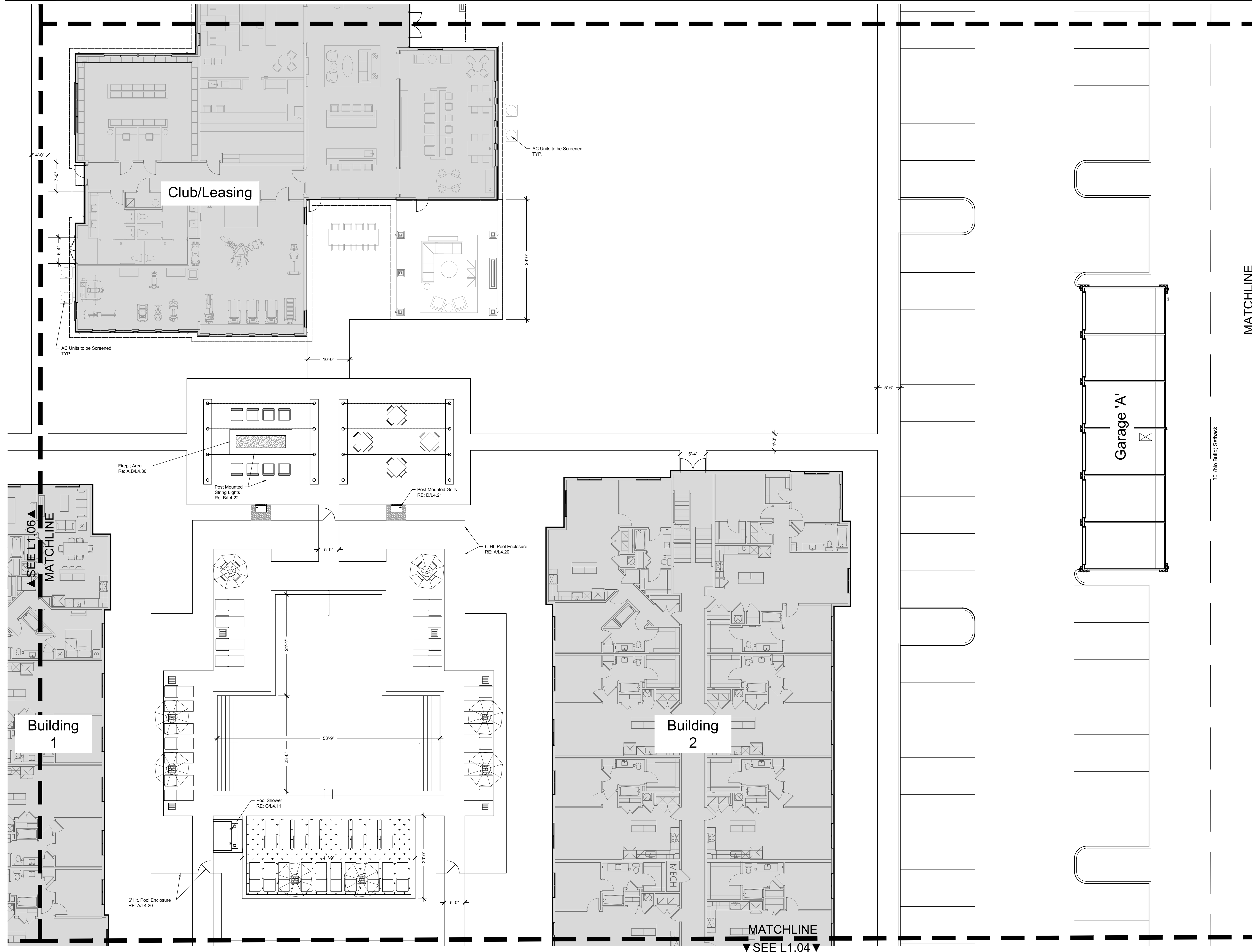
08/02/2024 - SITE PLAN FILING

LAYOUT PLAN

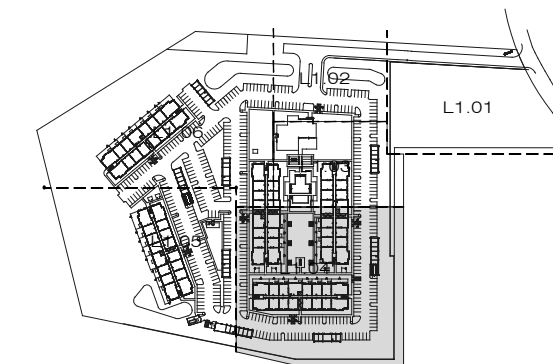


DRAWN: AD/BM
PROJECT: 643
PLOT DATE: 08-02-2024

SHEET NUMBER: **L1.03**



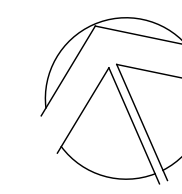
HANOVER
HYANNIS II
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Hyannis, MA 02630



ISSUES AND REVISIONS:

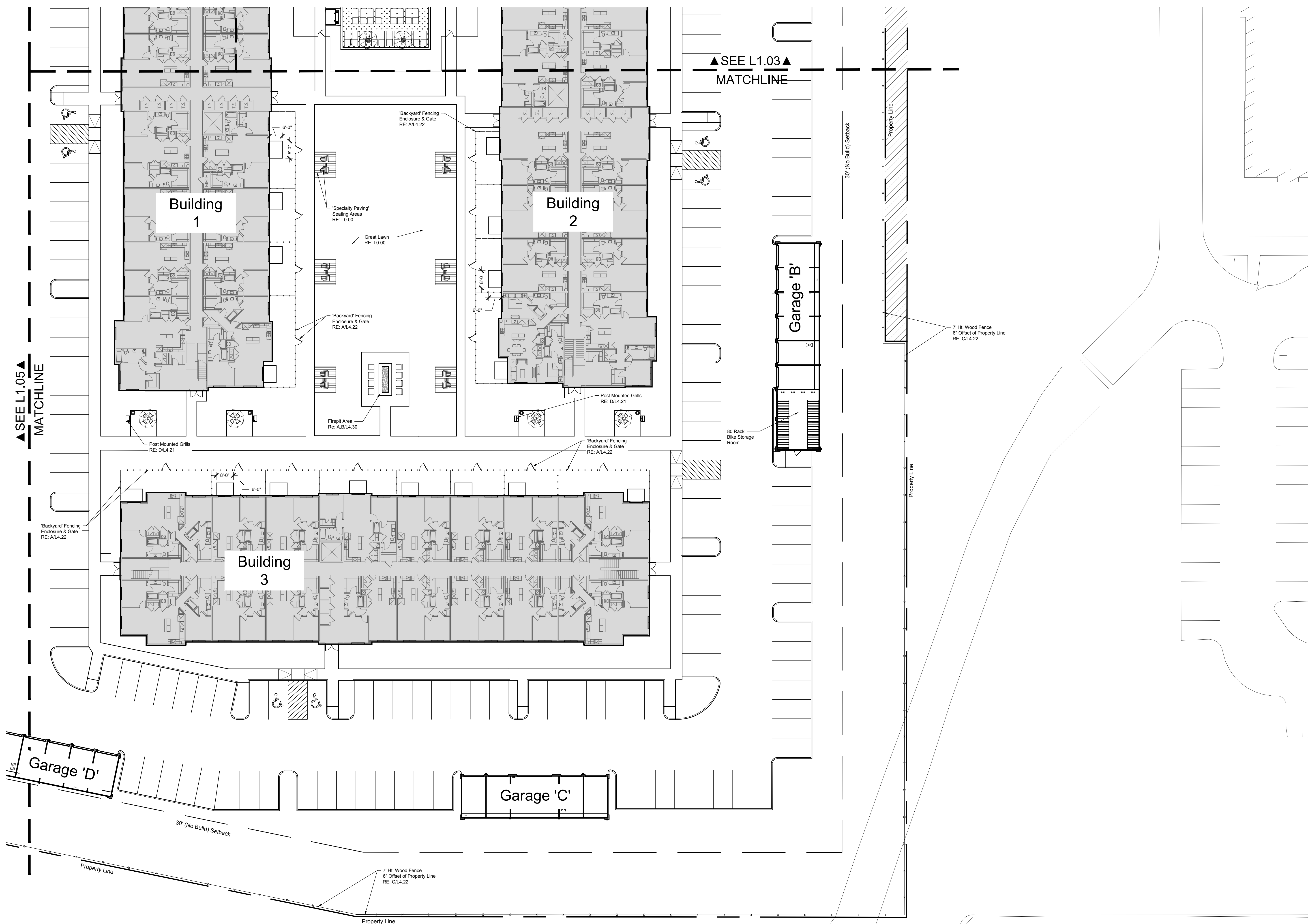
08/02/2024 - SITE PLAN FILING

LAYOUT PLAN



DRAWN: _____ AD/BM
PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

SHEET NUMBER: **L1.04**

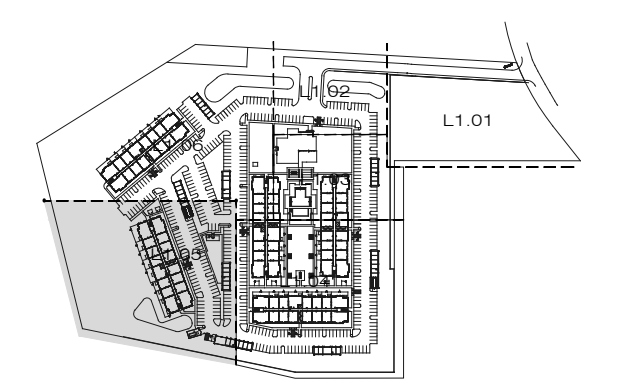


▲ SEE L1.06 ▲
MATCHLINE



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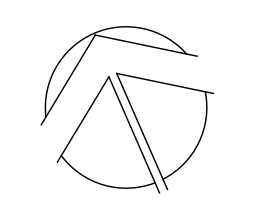
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Wilkens Lane
Hyannis, MA 02630



ISSUES AND REVISIONS:

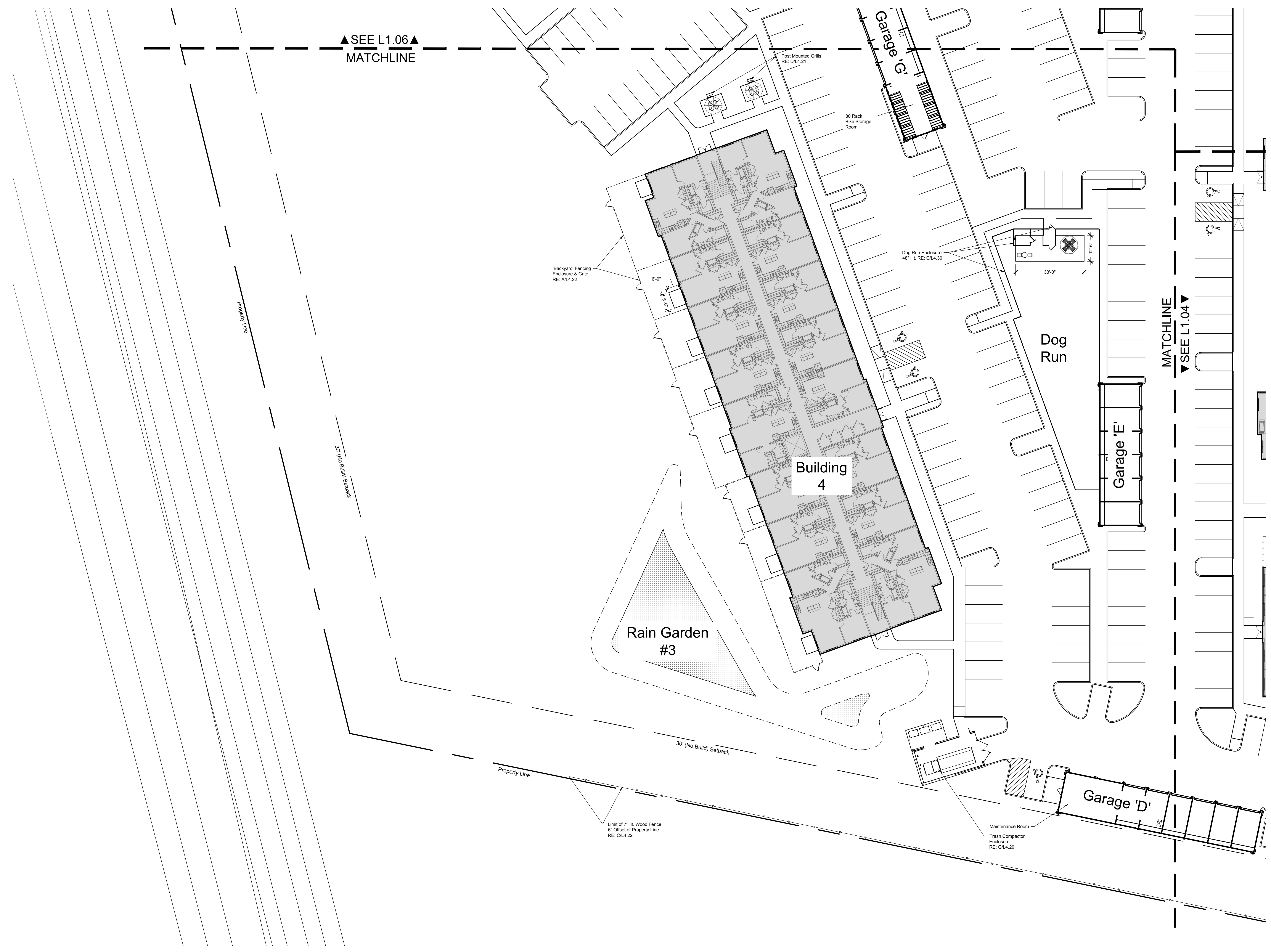
08/02/2024 - SITE PLAN FILING

LAYOUT PLAN



DRAWN: _____ AD/BM
PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

SHEET NUMBER: **L1.05**



Proposed
Lane

30' (No Build) Setback

30' (No Build) Setback

Property Line

Limit of 7 Ht. Wood Fence
5' Offset of Property Line
RE: C/L4.22

Maintenance Room
Trash Compactor
Enclosure
RE: G/L4.20

'Backyard' Fencing
Enclosure & Gate
RE: A/L4.22

Post Mounted Grills
RE: D/L4.21

80 Rack
Bike Storage
Room

Dog Run Enclosure
48" Ht. RE: C/L4.30

33'-0"
12'-6"

MATCHLINE
▼ SEE L1.04 ▼

Building
4

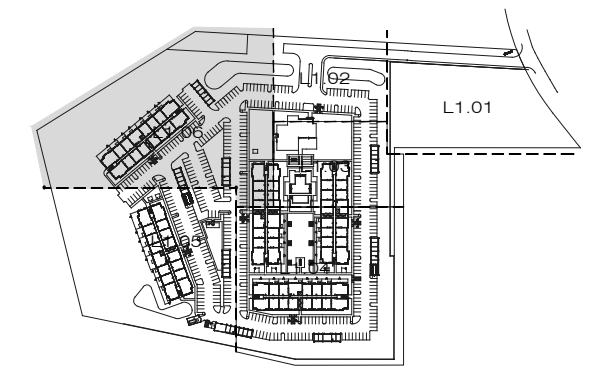
Rain Garden
#3

Dog
Run

Garage 'E'

Garage 'D'

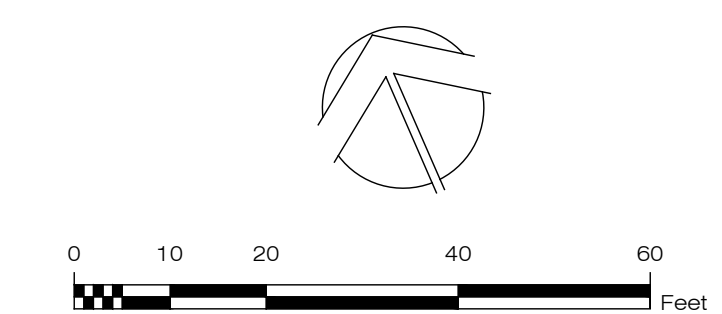
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ISSUES AND REVISIONS:

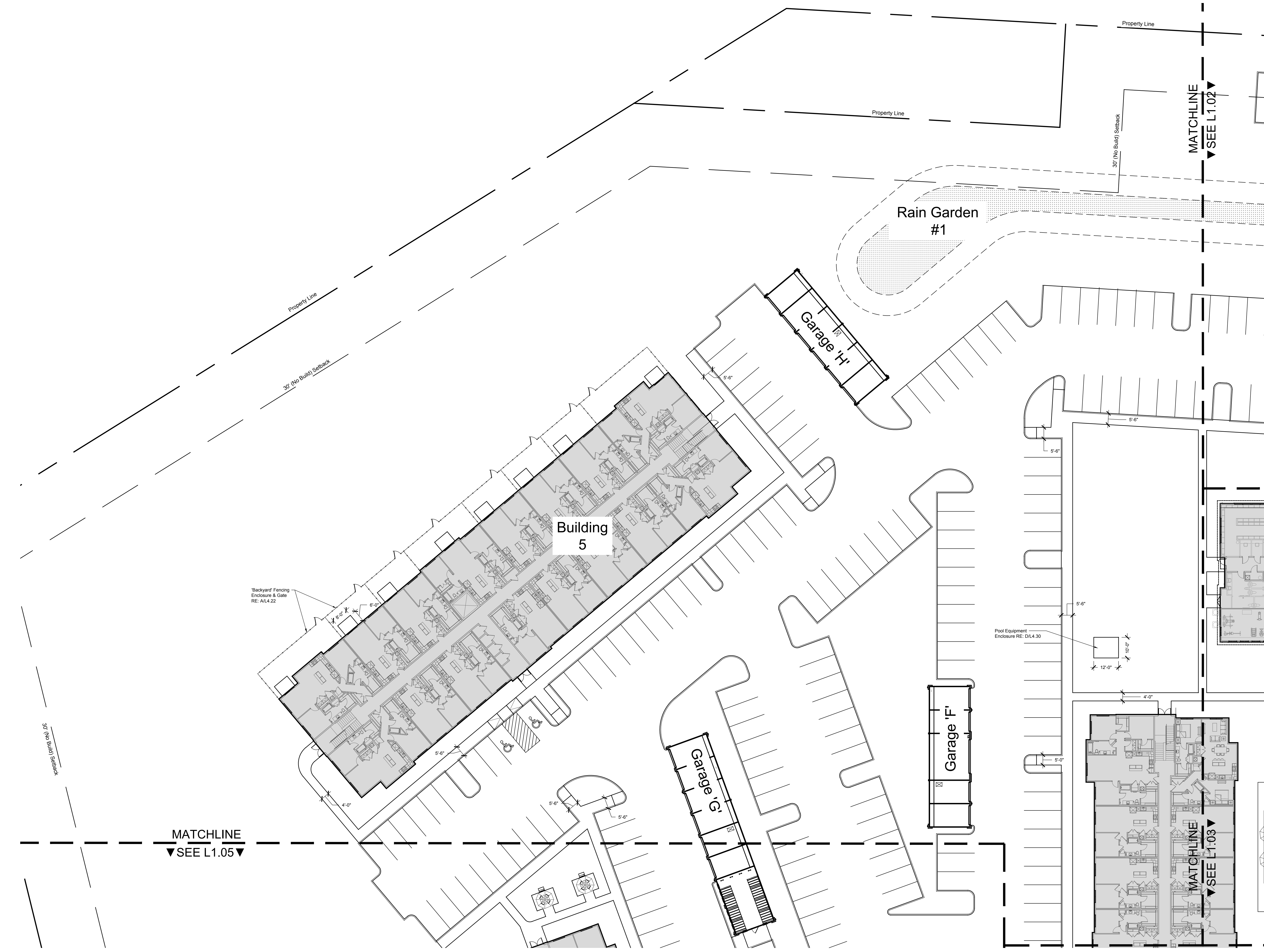
08/02/2024 - SITE PLAN FILING

LAYOUT PLAN



DRAWN: AD/IBM
PROJECT: 643
PLOT DATE: 08-02-2024

SHEET NUMBER: **L1.06**





HANOVER
LANDSCAPE
ARCHITECTURE

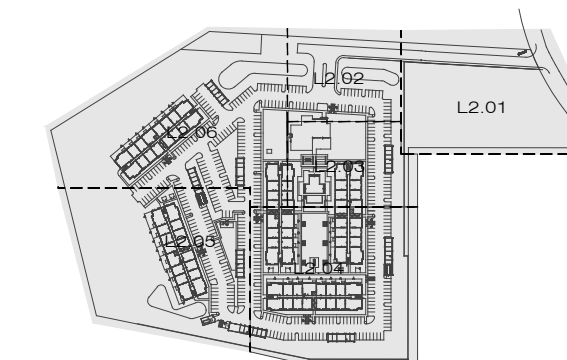
1780 S. POST OAK LANE
HOUSTON, TX 77056
713.267.2100 www.HanoverCo.com

HANOVER
HYANNIS II

Wilkens Lane
Hyannis, MA 02630



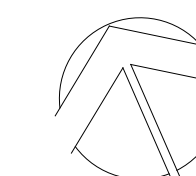
Ed Meyer



ISSUES AND REVISIONS:

08/02/2024 - SITE PLAN FILING

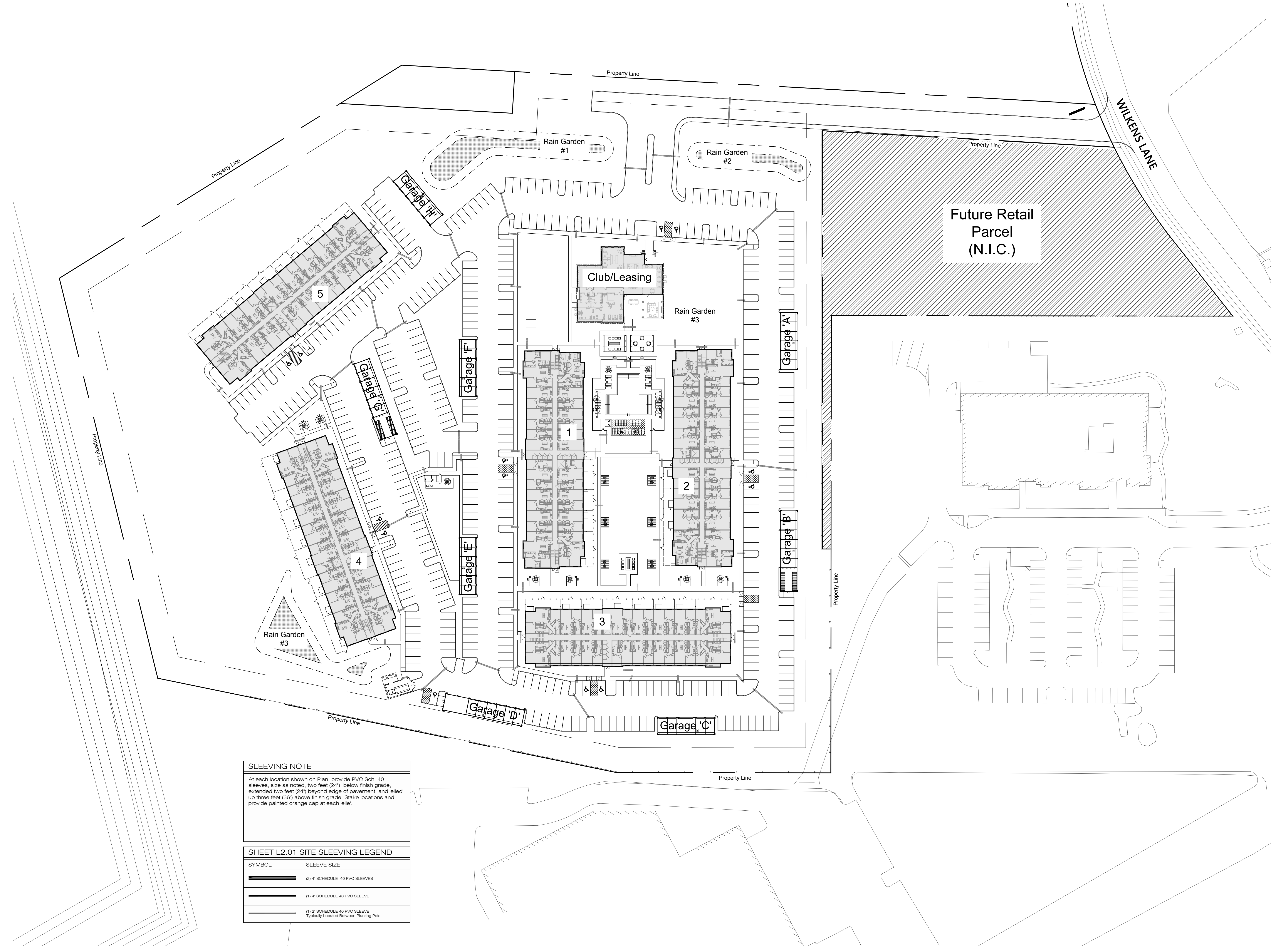
SLEEVING
PLAN



0 25 50 100 150
Feet

DRAWN: AD/BM
PROJECT: 643
PLOT DATE: 08-02-2024

SHEET NUMBER: **L2.00**

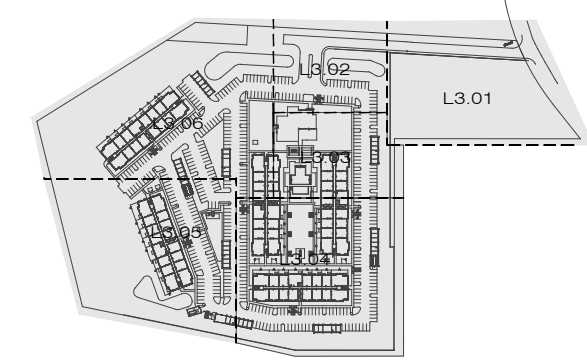


SLEEVING NOTE
At each location shown on Plan, provide PVC Sch. 40 sleeves, size as noted, two feet (24") below finish grade, extended two feet (24") beyond edge of pavement, and filled up three feet (36") above finish grade. Stake locations and provide painted orange cap at each 'elle'.

SHEET L2.01 SITE SLEEVING LEGEND

SYMBOL	SLEEVE SIZE
	(2) 4" SCHEDULE 40 PVC SLEEVES
	(1) 4" SCHEDULE 40 PVC SLEEVE
	(1) 2" SCHEDULE 40 PVC SLEEVE Typically Located Between Planting Pots

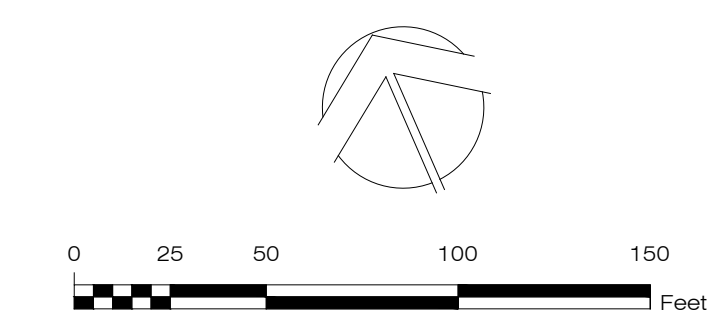
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ISSUES AND REVISIONS:

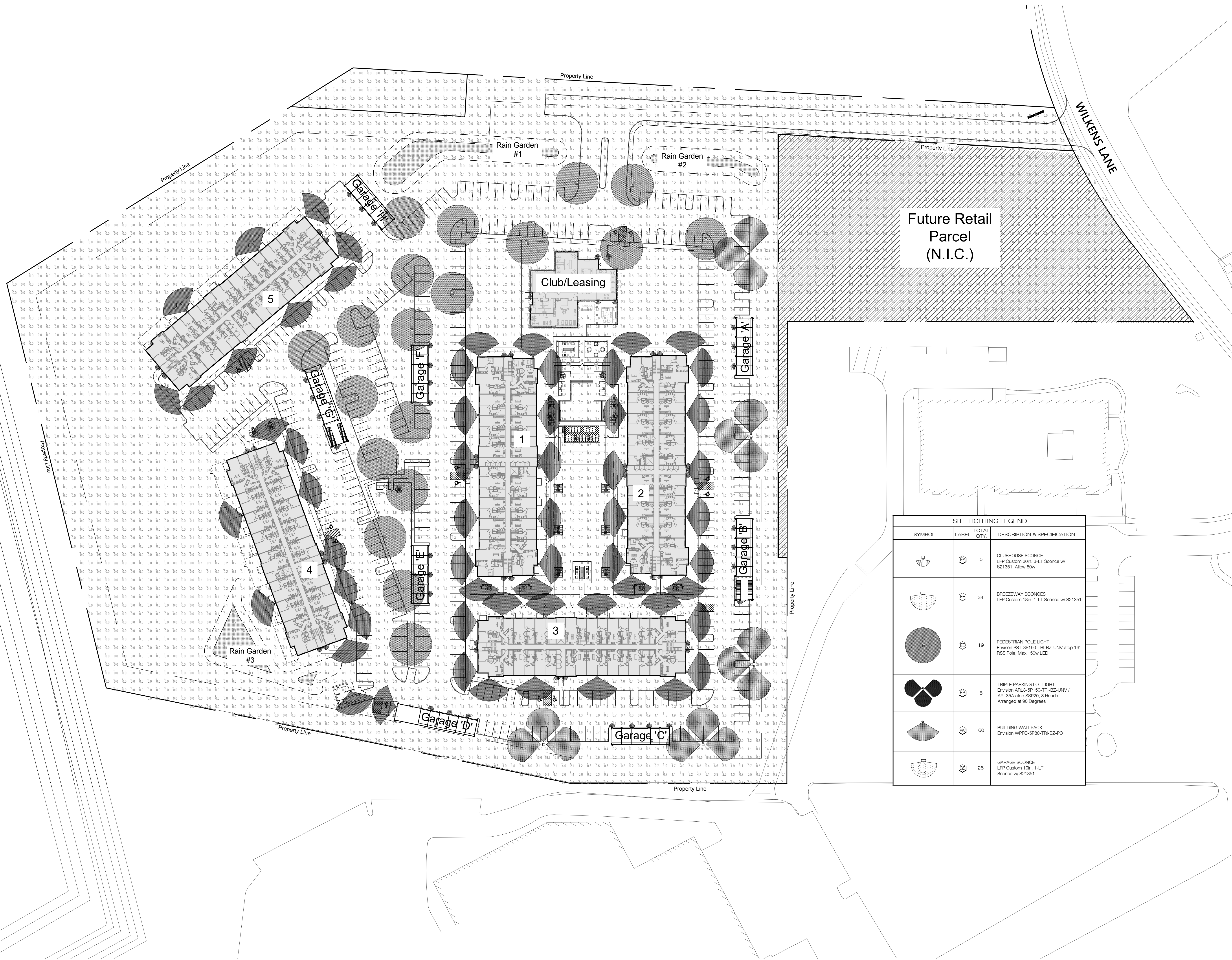
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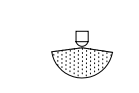
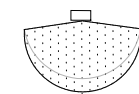
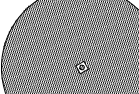

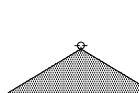
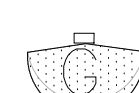
LIGHTING
PHOTOMETRIC PLAN



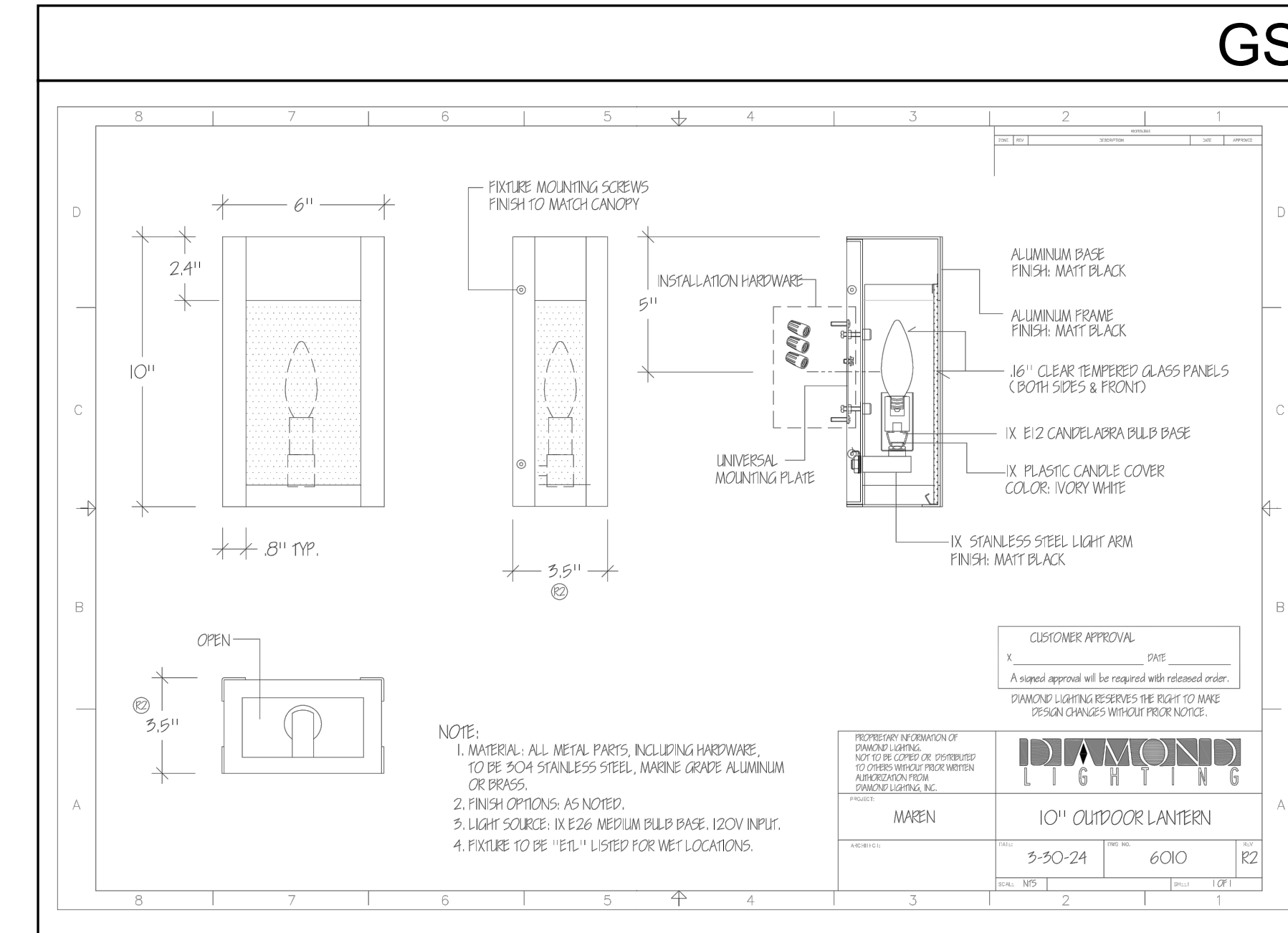
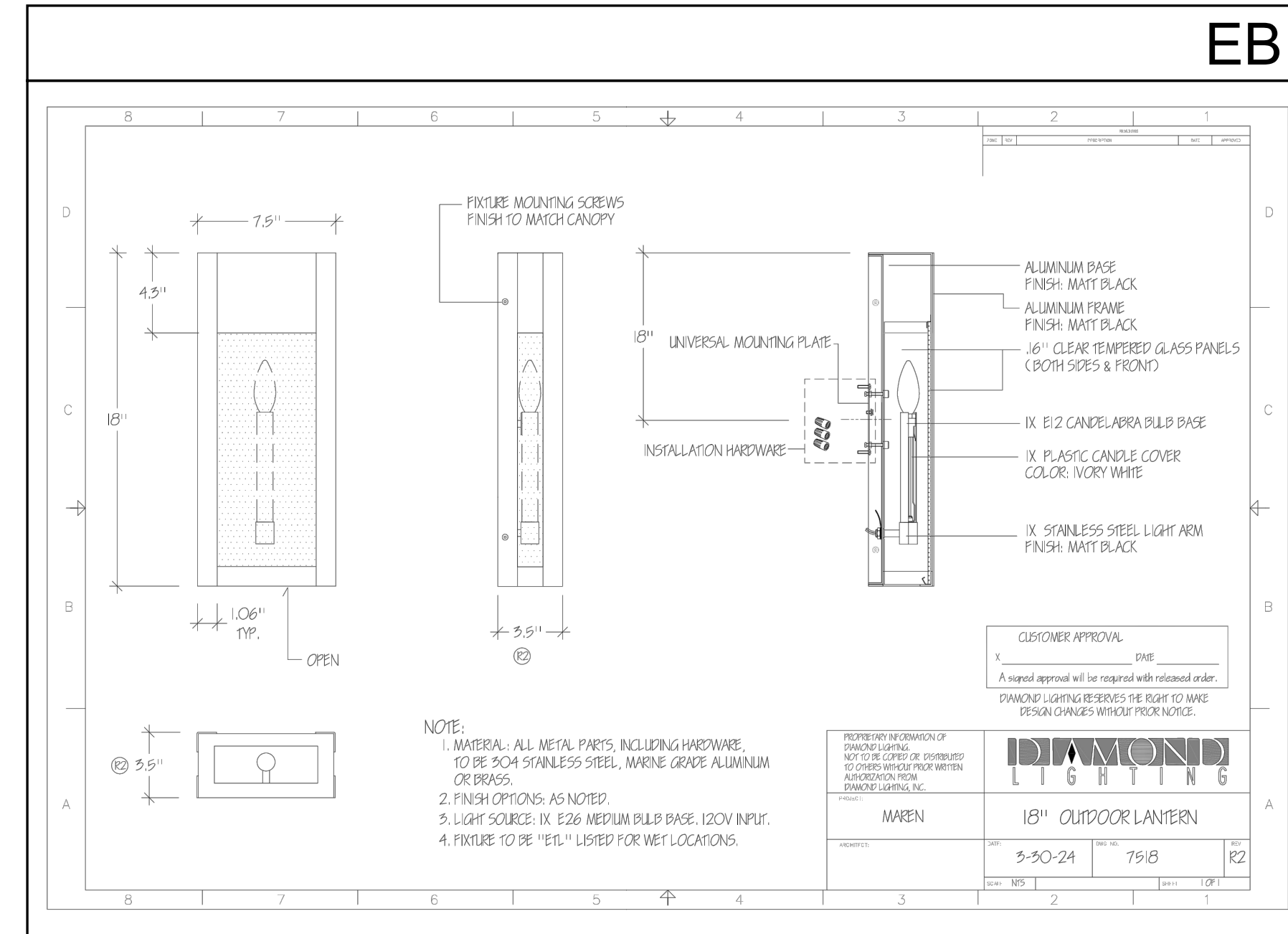
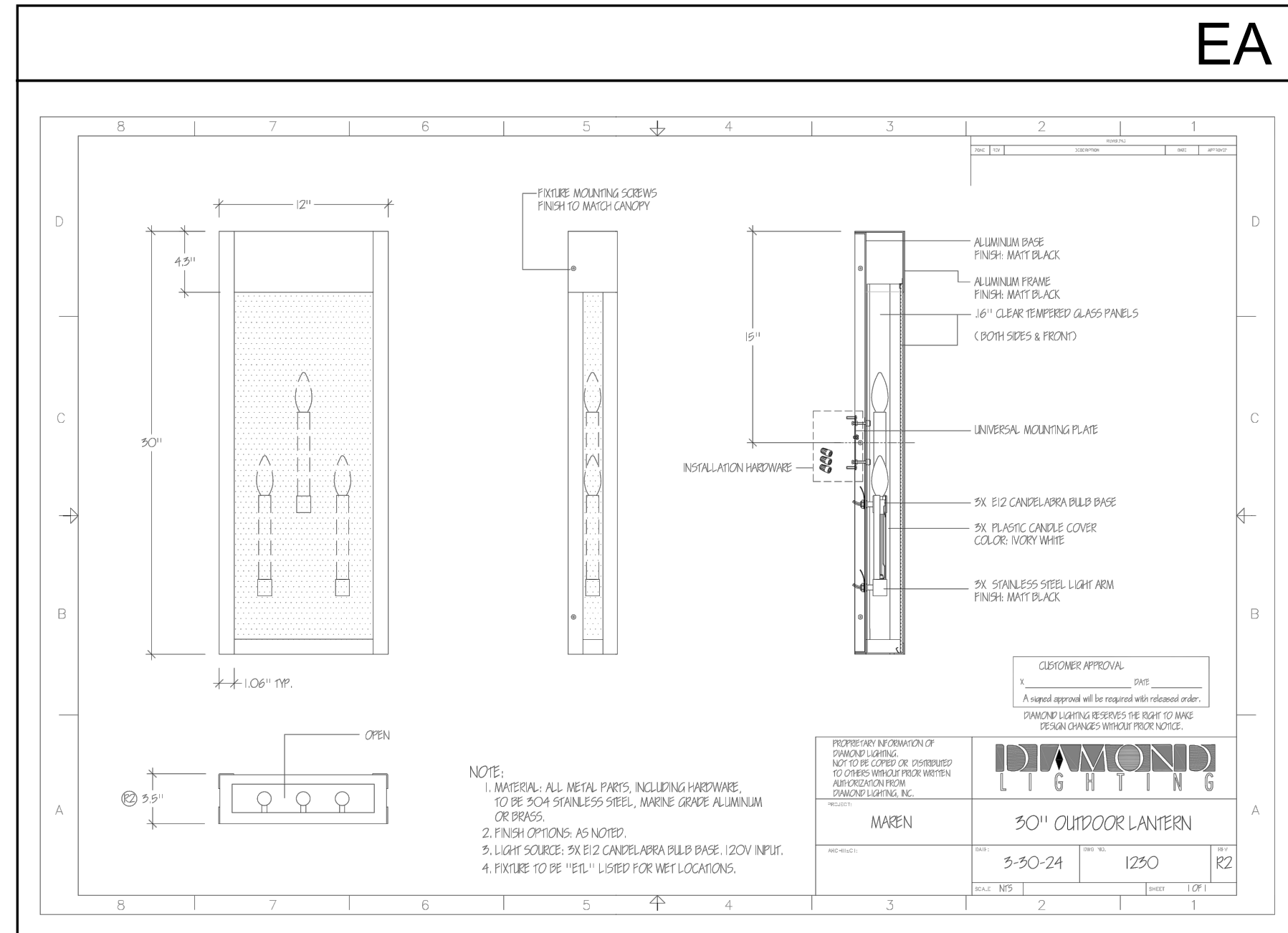
DRAWN: AD/BM
PROJECT: 643
PLOT DATE: 08-02-2024

SHEET NUMBER: **L3.00**



SITE LIGHTING LEGEND			
SYMBOL	LABEL	TOTAL QTY.	DESCRIPTION & SPECIFICATION
	EA	5	CLUBHOUSE SCENCE LFP Custom 30in. 3-LT Sconce w/ S21351, Allow 60w
	EB	34	BREEZEWAY SCENCES LFP Custom 18in. 1-LT Sconce w/ S21351
	EC	19	PEDESTRIAN POLE LIGHT Environ PST-3P150-TRI-BZ-UNV atop 16' RSS Pole, Max 150w LED
	ED	5	TRIPLE PARKING LOT LIGHT Environ ARL3-SP150-TRI-EZ-UNV / ARL35A atop SSP20, 3 Heads Arranged at 90 Degrees
	EE	60	BUILDING WALLPACK Environ WPFC-5P80-TRI-BZ-PC
	EF	26	GARAGE SCENCE LFP Custom 10in. 1-LT Sconce w/ S21351

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Hyannis, MA 02630



ED

enVisionLED
WWW.ENVISIONLEDLIGHTING.COM

Bolt-Line: Post Top Fixtures
Foldable & Compact Design

Project: _____ **Part #:** _____
Type: _____

Detail Specifications:

- Finish: Matte Black, Custom finishes available
- Rating: IP65 (Water Resistant)
- Chip: SMD 2835, 90-100, CRI > 90
- Operating Temperature: -10° C to 40° C
- Lens: Clear Polycarbonate
- Average life: 50,000 hours
- 5000K
- 1500lm

Applications:

- Residential & Commercial
- Outdoor Lighting
- Commercial Lighting

Product Information:

- Energy Star Approved
- 5000K, 5000lm, 1500lm
- 1500lm, 1500lm
- 1500lm, 1500lm
- 1500lm, 1500lm

Driver Options:

- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT

Certifications:

- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS

Mounting & Installation:

- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting

WATT LUMENS	WATT LUMENS	WATT LUMENS
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500

Specifications Table:

Model	Power	Color	Beam Angle	Mounting	Notes
LED-PS1-3P75-TRI	75W	3000K	70°	Post Top	
LED-PS1-3P150-TRI	150W	3000K	70°	Post Top	

EnVision LED Lighting, Inc.
6023 Bandini Blvd | Bldg. CA 90040 | Tel: 323-604-0066 | www.envisionledlighting.com

EP-A

enVisionLED
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OPTIC-Line: Large Area Lights
3-CCT & 5-Power Selectable
Rotatable and EZ-Swap Optics

Project: _____ **Part #:** _____
Type: _____

Detail Specifications:

- Finish: Matte Black, Custom finishes available
- Rating: IP65 (Water Resistant)
- Chip: SMD 2835, 90-100, CRI > 90
- Operating Temperature: -10° C to 40° C
- Lens: Clear Polycarbonate
- Average life: 50,000 hours
- 5000K
- 1500lm

Applications:

- Residential & Commercial
- Outdoor Lighting
- Commercial Lighting

Product Information:

- Energy Star Approved
- 5000K, 5000lm, 1500lm
- 1500lm, 1500lm
- 1500lm, 1500lm
- 1500lm, 1500lm

Driver Options:

- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT

Certifications:

- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS

Mounting & Installation:

- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting

WATT LUMENS	WATT LUMENS	WATT LUMENS
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500

Specifications Table:

Model	Power	Color	Beam Angle	Mounting	Notes
LED-ARL3-0PT	0W	3000K	70°	Post Top	
LED-ARL3-0PT	0W	3000K	70°	Post Top	

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EP-B

enVisionLED
WWW.ENVISIONLEDLIGHTING.COM

OPTIC-Line: Large Area Lights
3-CCT & 5-Power Selectable
Rotatable and EZ-Swap Optics

Project: _____ **Part #:** _____
Type: _____

Detail Specifications:

- Finish: Matte Black, Custom finishes available
- Rating: IP65 (Water Resistant)
- Chip: SMD 2835, 90-100, CRI > 90
- Operating Temperature: -10° C to 40° C
- Lens: Clear Polycarbonate
- Average life: 50,000 hours
- 5000K
- 1500lm

Applications:

- Residential & Commercial
- Outdoor Lighting
- Commercial Lighting

Product Information:

- Energy Star Approved
- 5000K, 5000lm, 1500lm
- 1500lm, 1500lm
- 1500lm, 1500lm
- 1500lm, 1500lm

Driver Options:

- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT

Certifications:

- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS

Mounting & Installation:

- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting

WATT LUMENS	WATT LUMENS	WATT LUMENS
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500

Specifications Table:

Model	Power	Color	Beam Angle	Mounting	Notes
LED-ARL3-0PT	0W	3000K	70°	Post Top	
LED-ARL3-0PT	0W	3000K	70°	Post Top	

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EW

enVisionLED
WWW.ENVISIONLEDLIGHTING.COM

Wall Pack Full Cutoff
5-Power + 3CCT Switchable

Project: _____ **Part #:** _____
Type: _____

Detail Specifications:

- Finish: Matte Black, Custom finishes available
- Rating: IP65 (Water Resistant)
- Chip: SMD 2835, 90-100, CRI > 90
- Operating Temperature: -10° C to 40° C
- Lens: Clear Polycarbonate
- Average life: 50,000 hours
- 5000K
- 1500lm

Applications:

- Residential & Commercial
- Outdoor Lighting
- Commercial Lighting

Product Information:

- Energy Star Approved
- 5000K, 5000lm, 1500lm
- 1500lm, 1500lm
- 1500lm, 1500lm
- 1500lm, 1500lm

Driver Options:

- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT
- 3-CT, 5-CT, 5-CT, 5-CT

Certifications:

- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS
- ETL, UL, FCC, CE, RoHS

Mounting & Installation:

- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting
- See Cut-Out Diagram for Mounting

WATT LUMENS	WATT LUMENS	WATT LUMENS
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500
150 1500	150 1500	150 1500

Specifications Table:

Model	Power	Color	Beam Angle	Mounting	Notes
LED-WP-FC	150W	3000K	70°	Wall Pack	
LED-WP-FC	150W	3000K	70°	Wall Pack	

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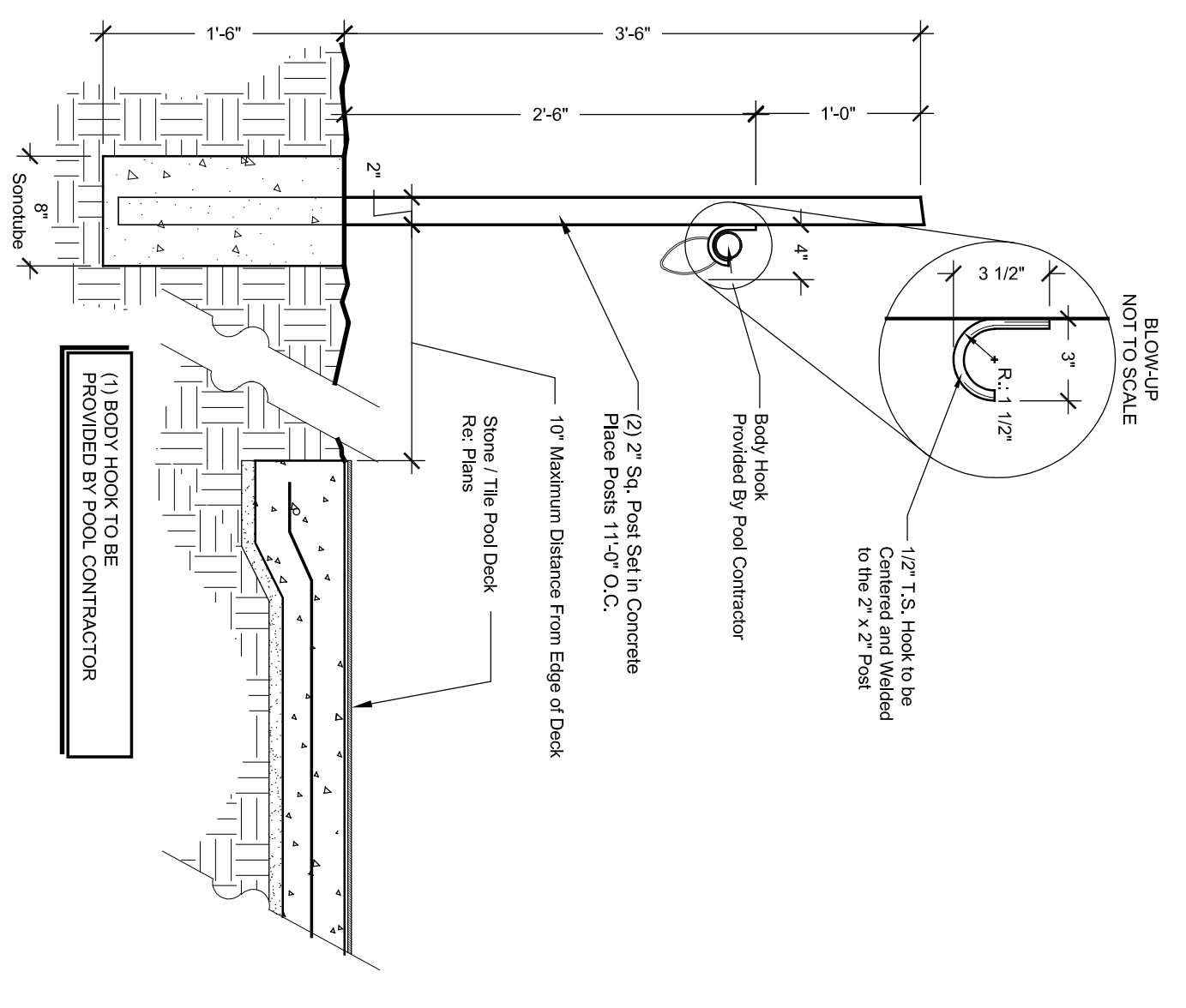
ISSUES AND REVISIONS:

08/02/2024 - SITE PLAN FILING

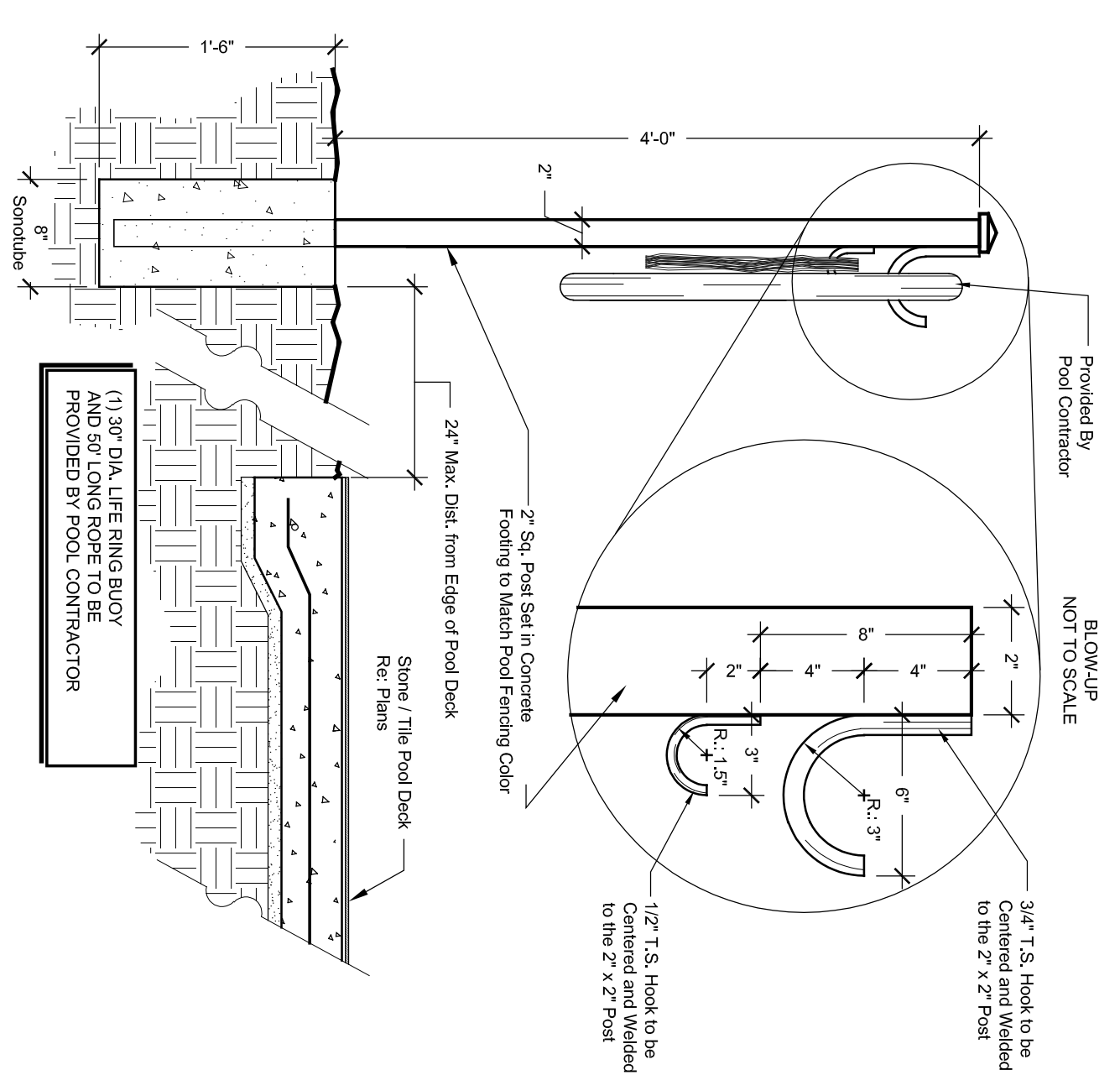
LIGHTING
CUT SHEETS

DRAWN: _____ AD/MB
PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

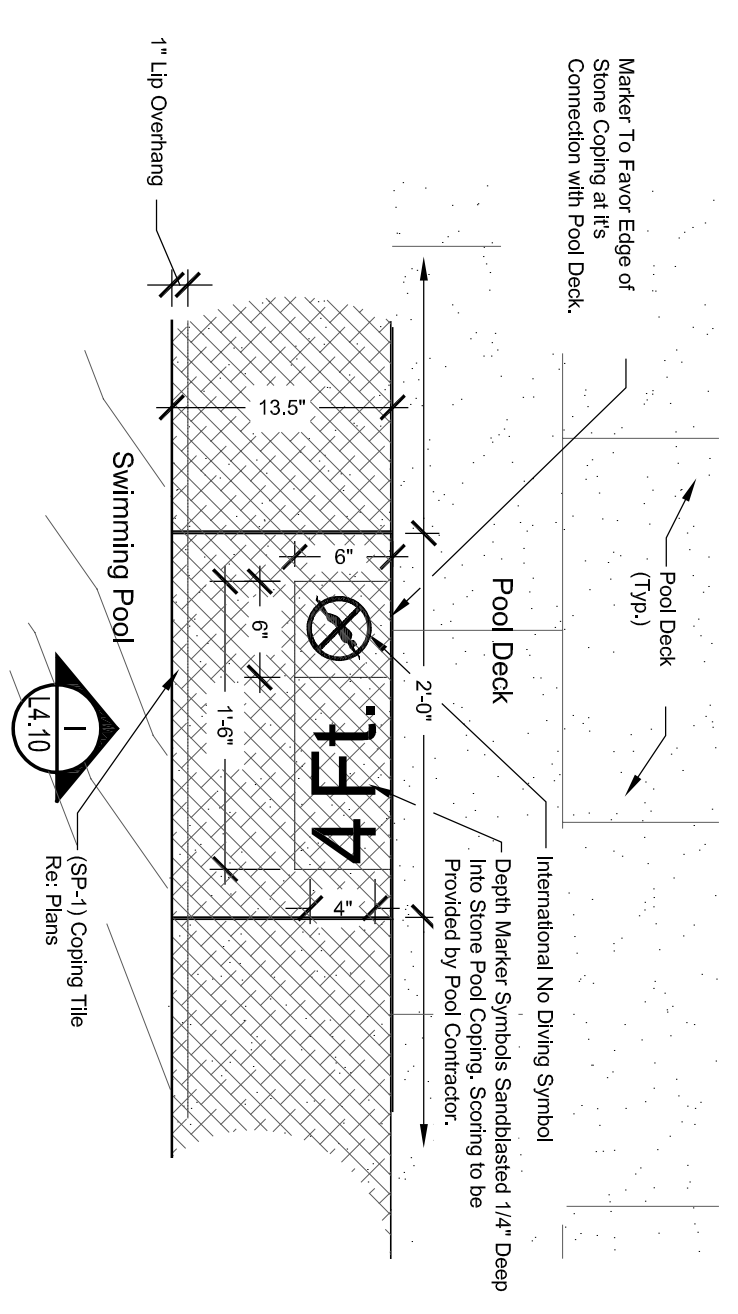
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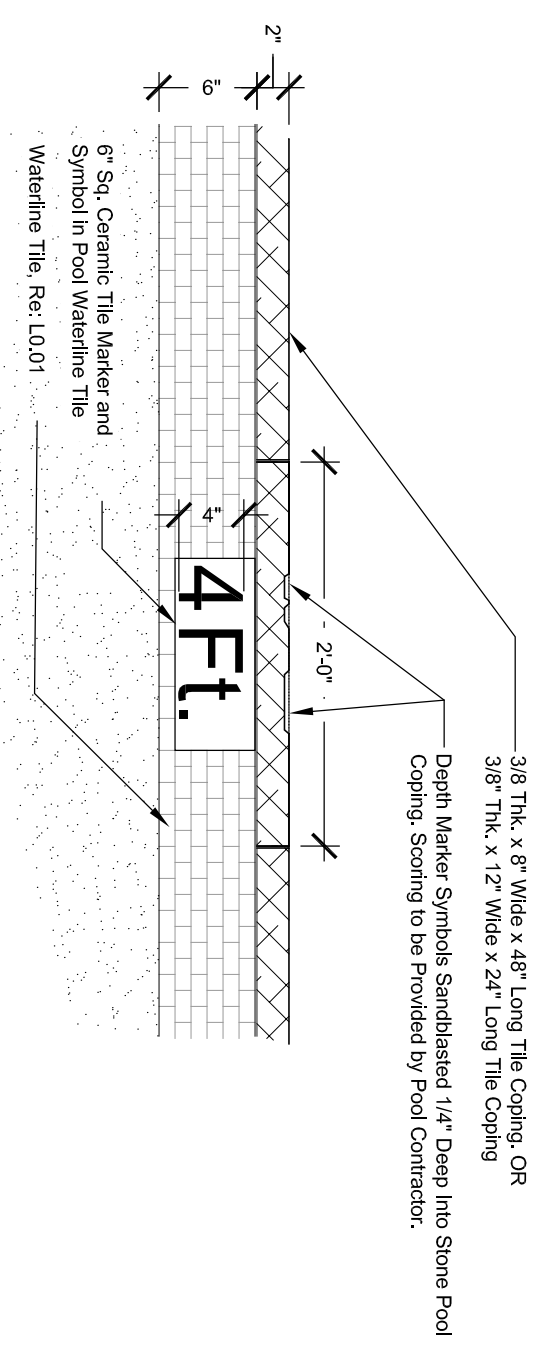
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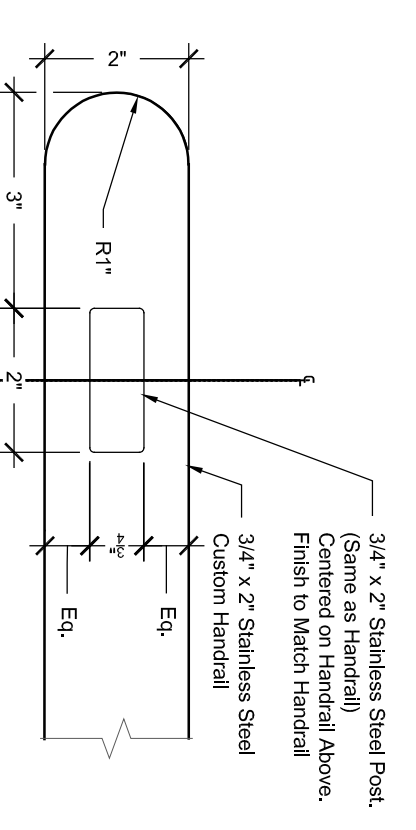
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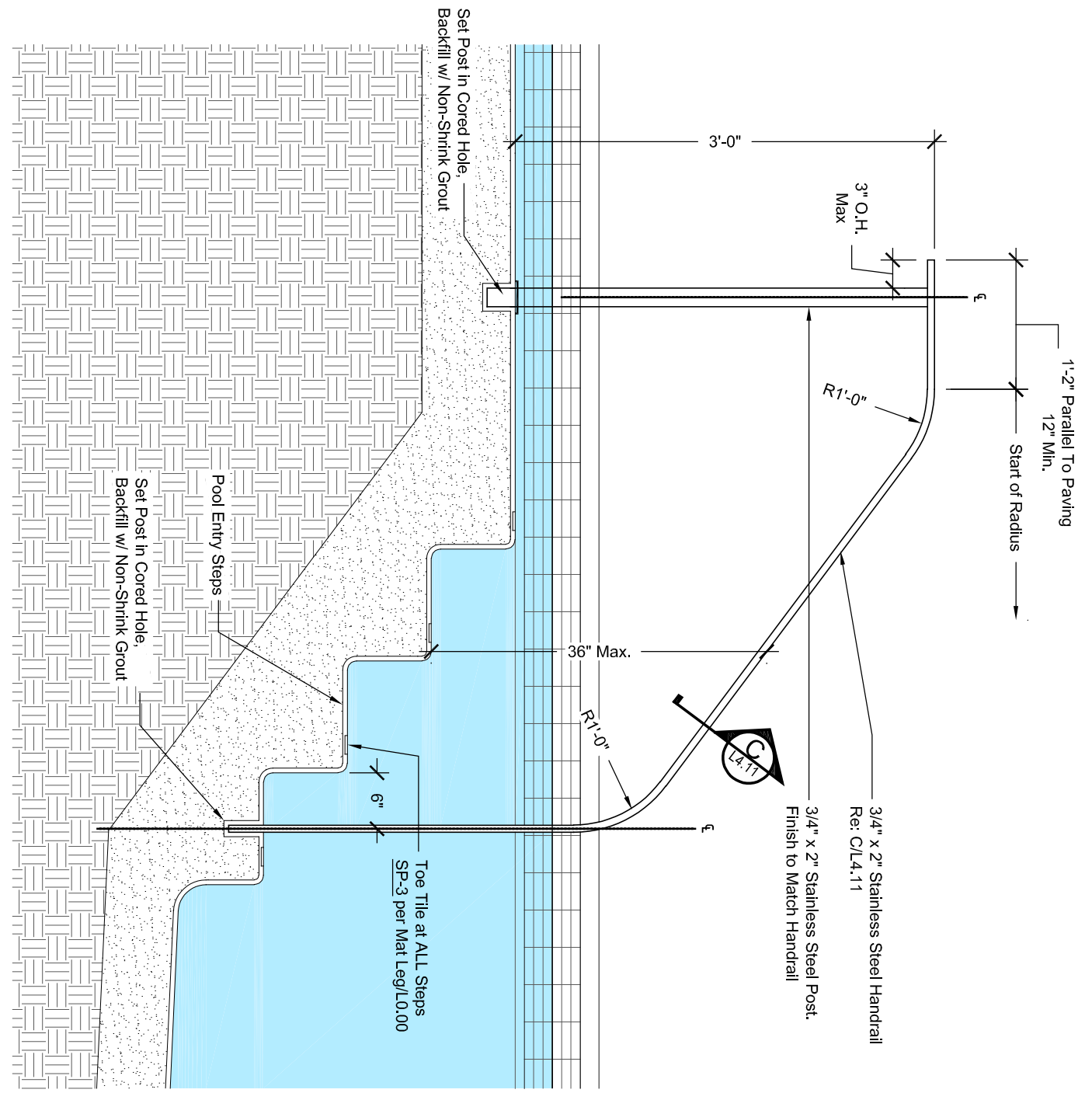
D PLAN
SCALE: 1" = 1'-0"



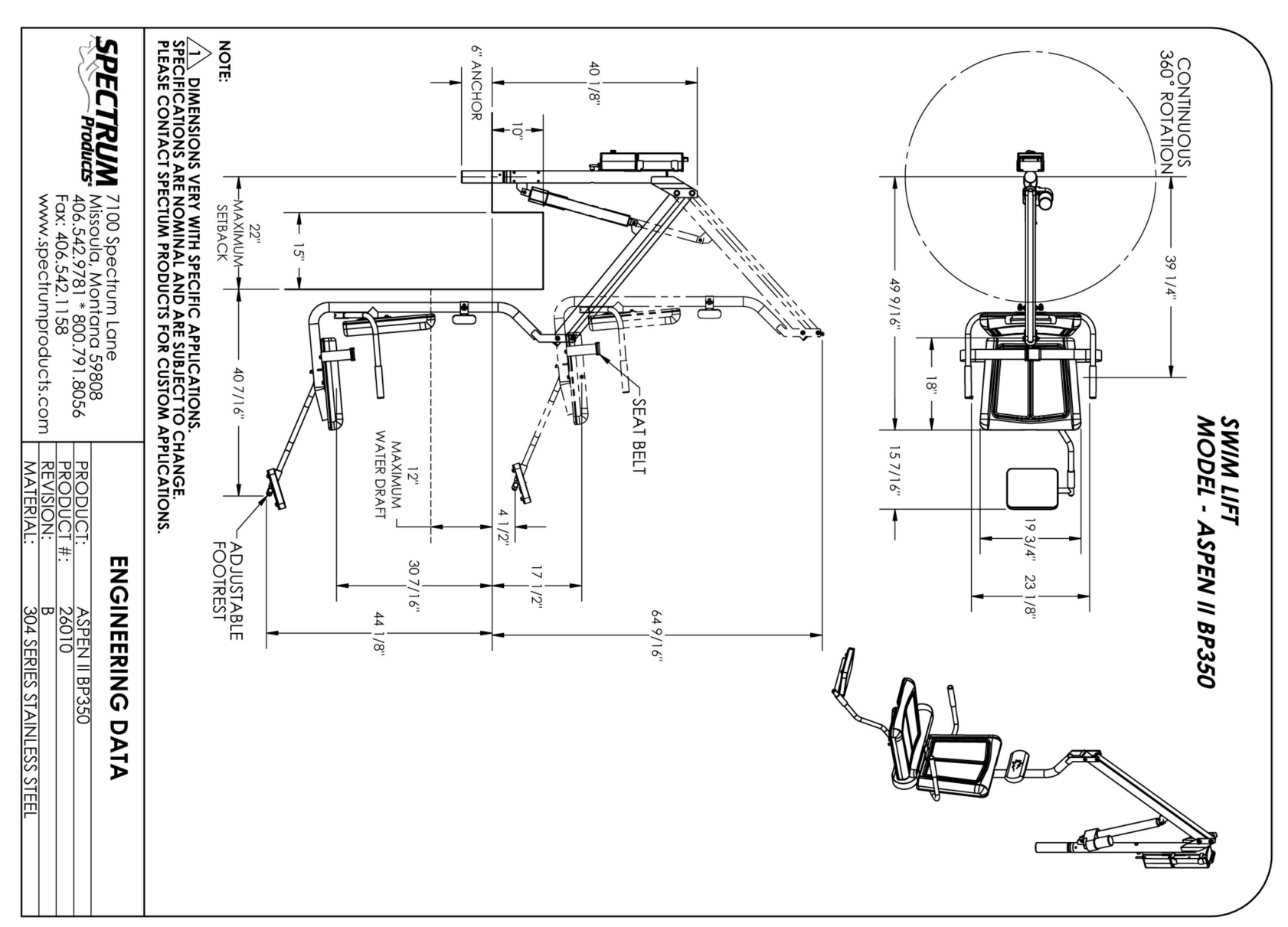
E SECTION
SCALE: 1" = 1'-0"



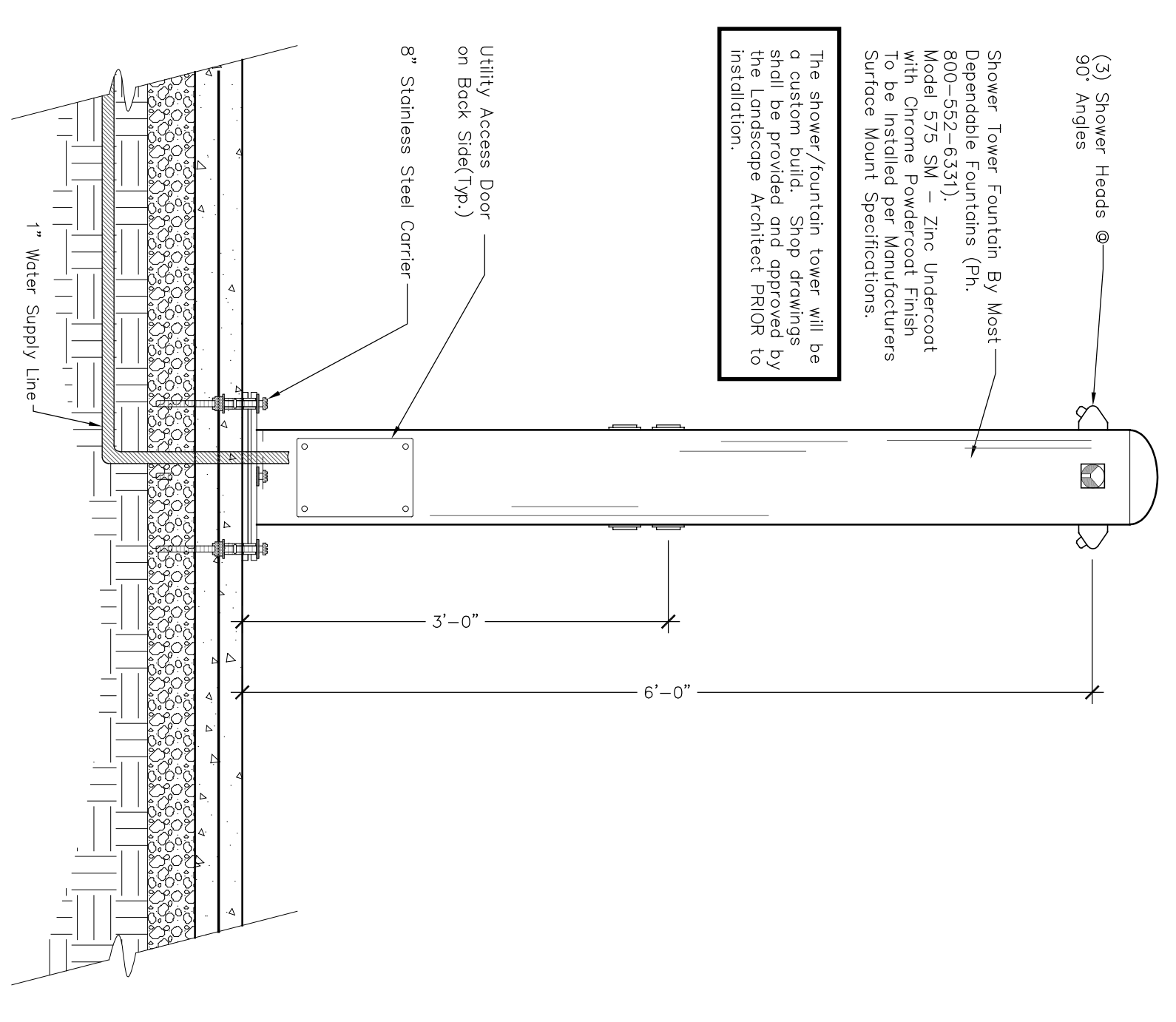
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SCALE: NTS



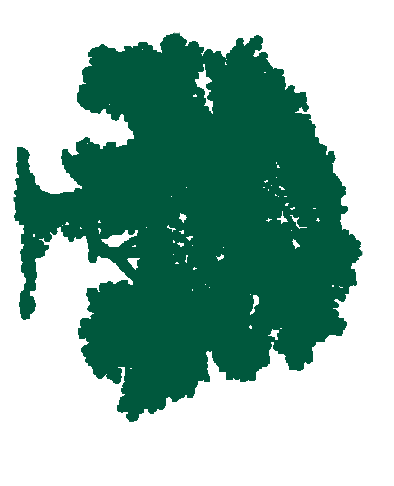
F SECTION
SCALE: 3/4" = 1'-0"



C SECTION
SCALE: 1" = 1'-0"



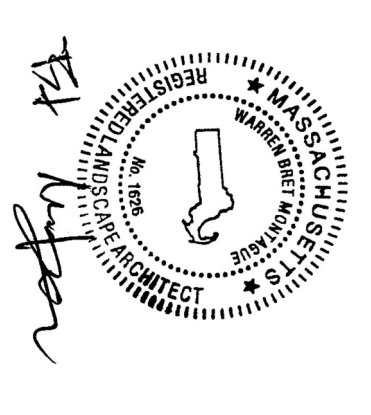
G SECTION
SCALE: 1" = 1'-0"



HANOVER
LANDSCAPE
ARCHITECTURE

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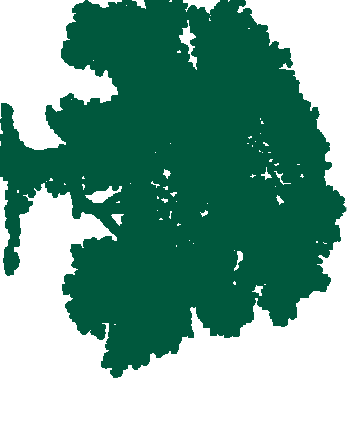
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ISSUES AND REVISIONS:

08/02/2024 - SITE PLAN PLINGS

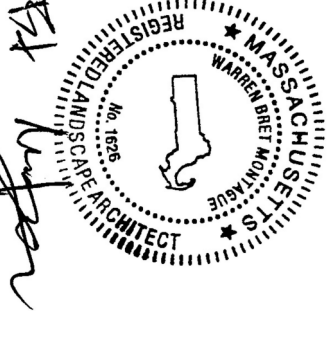
DETAILS
SWIMMING POOL



HANOVER
LANDSCAPE
ARCHITECTURE

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Hyannis, MA 02630



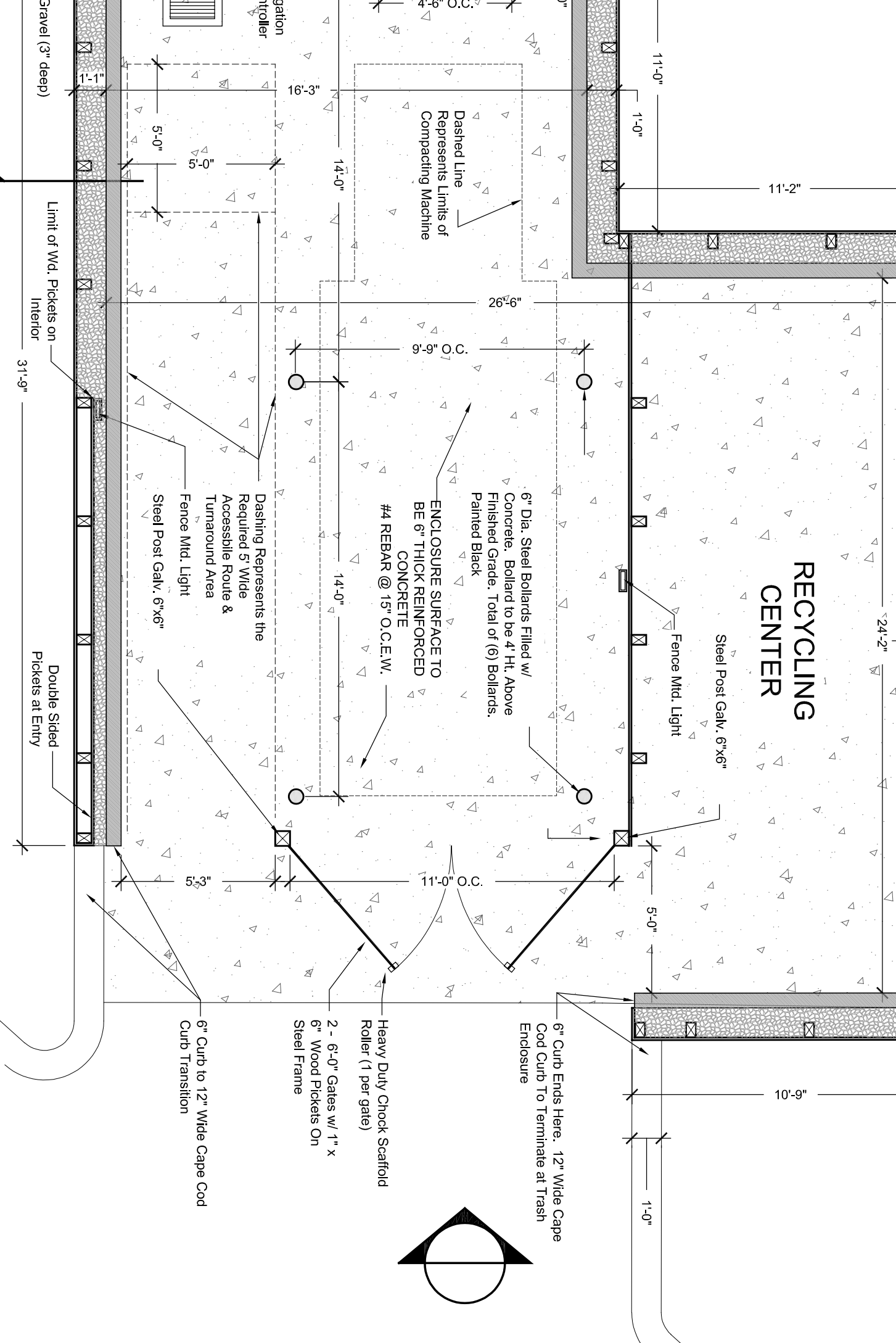
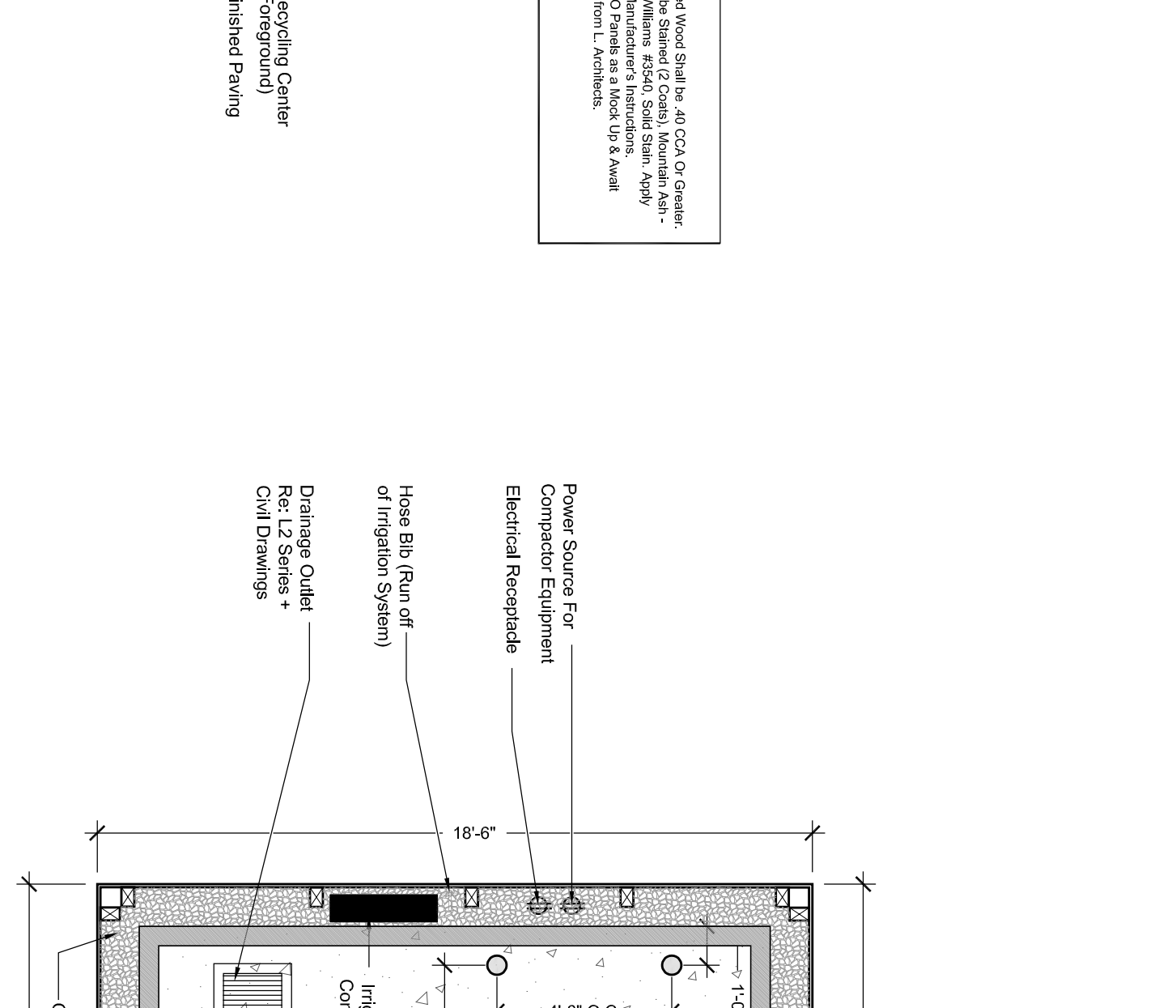
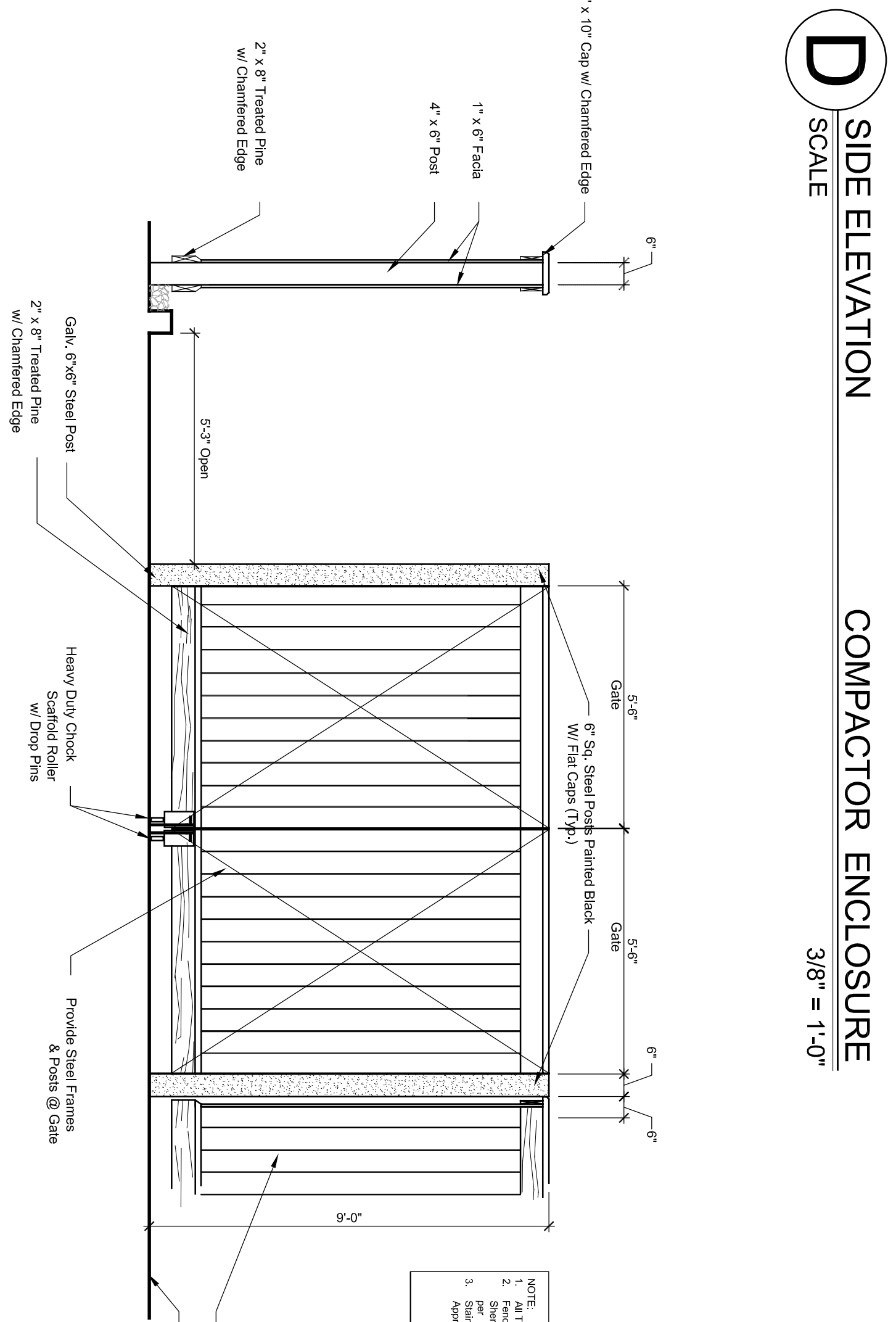
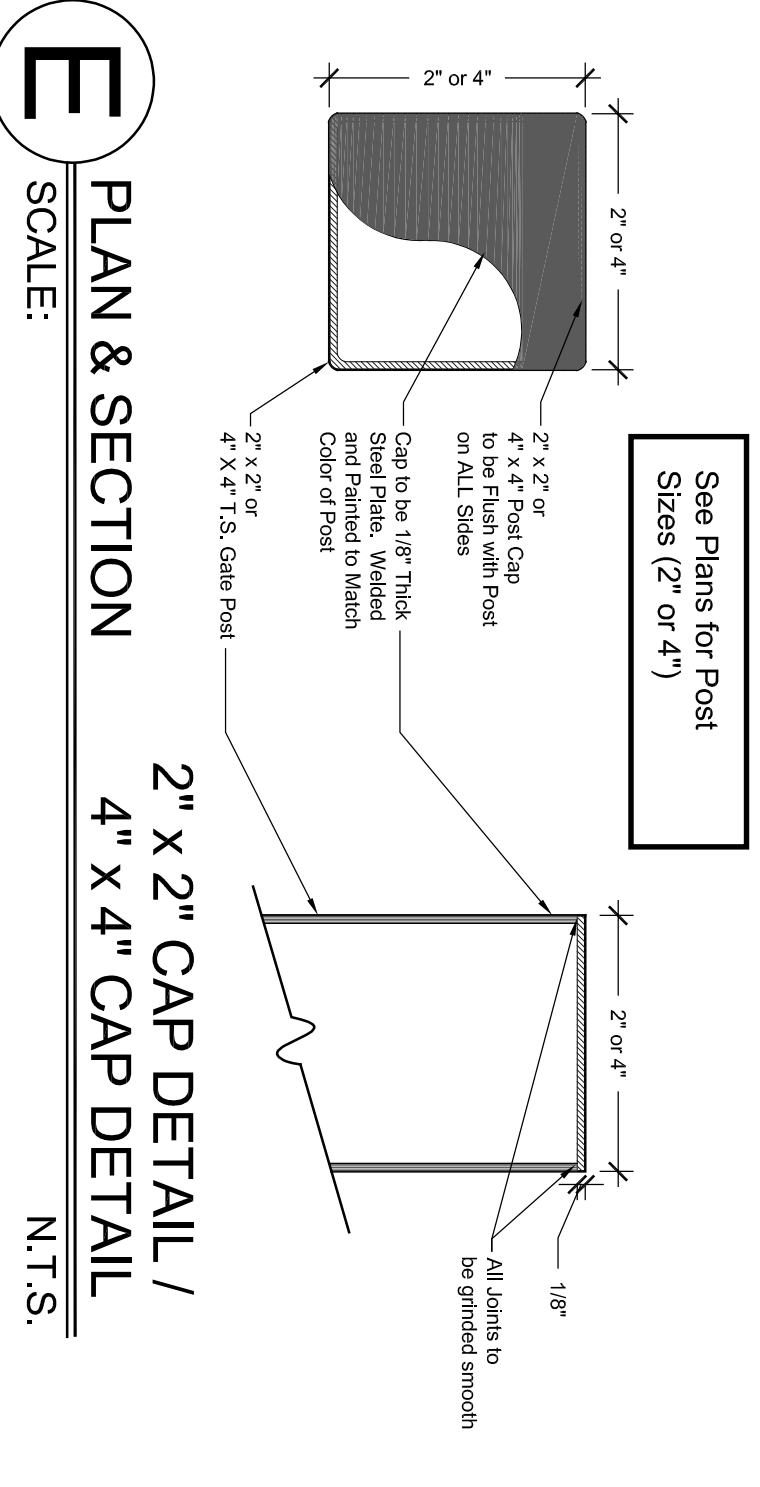
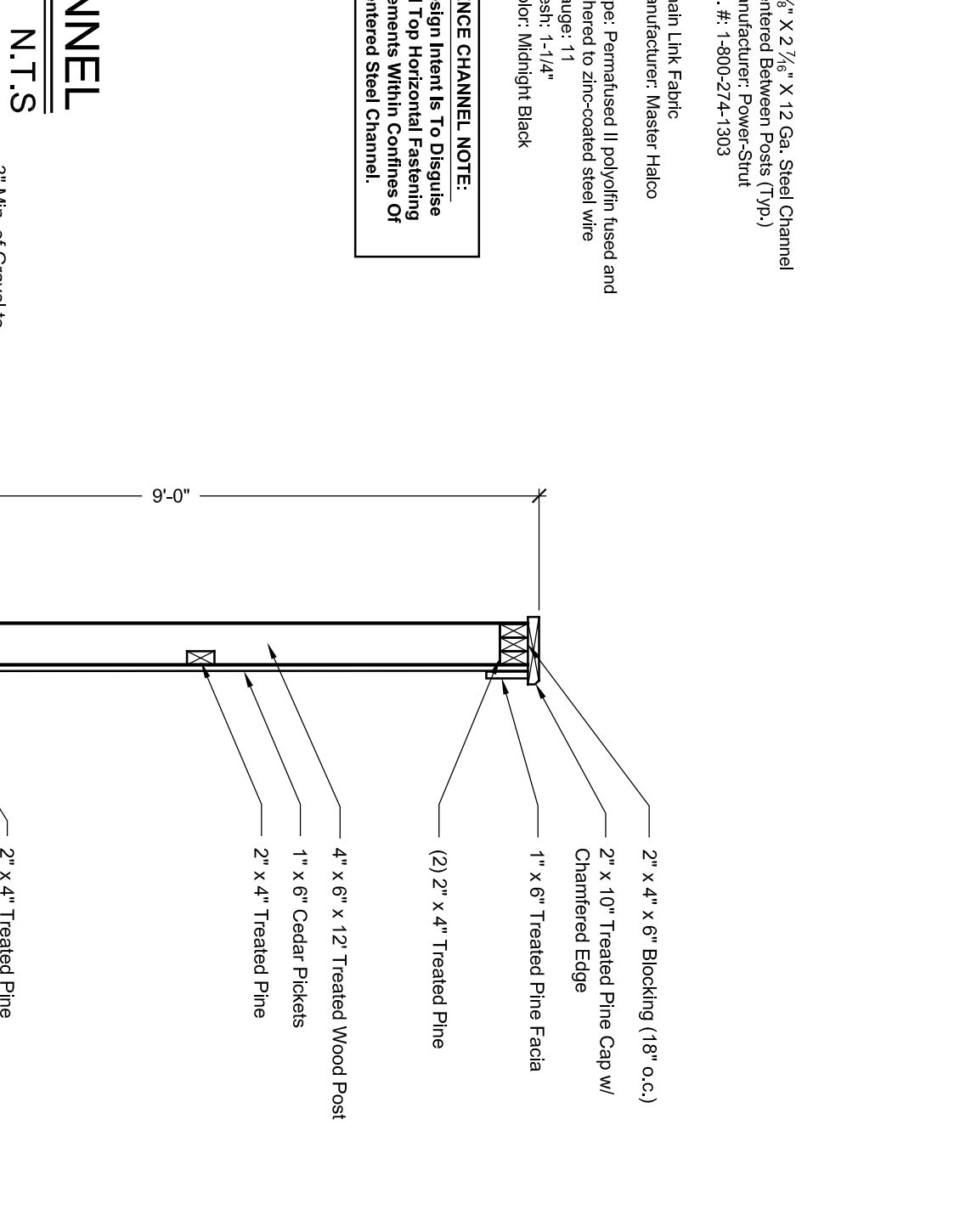
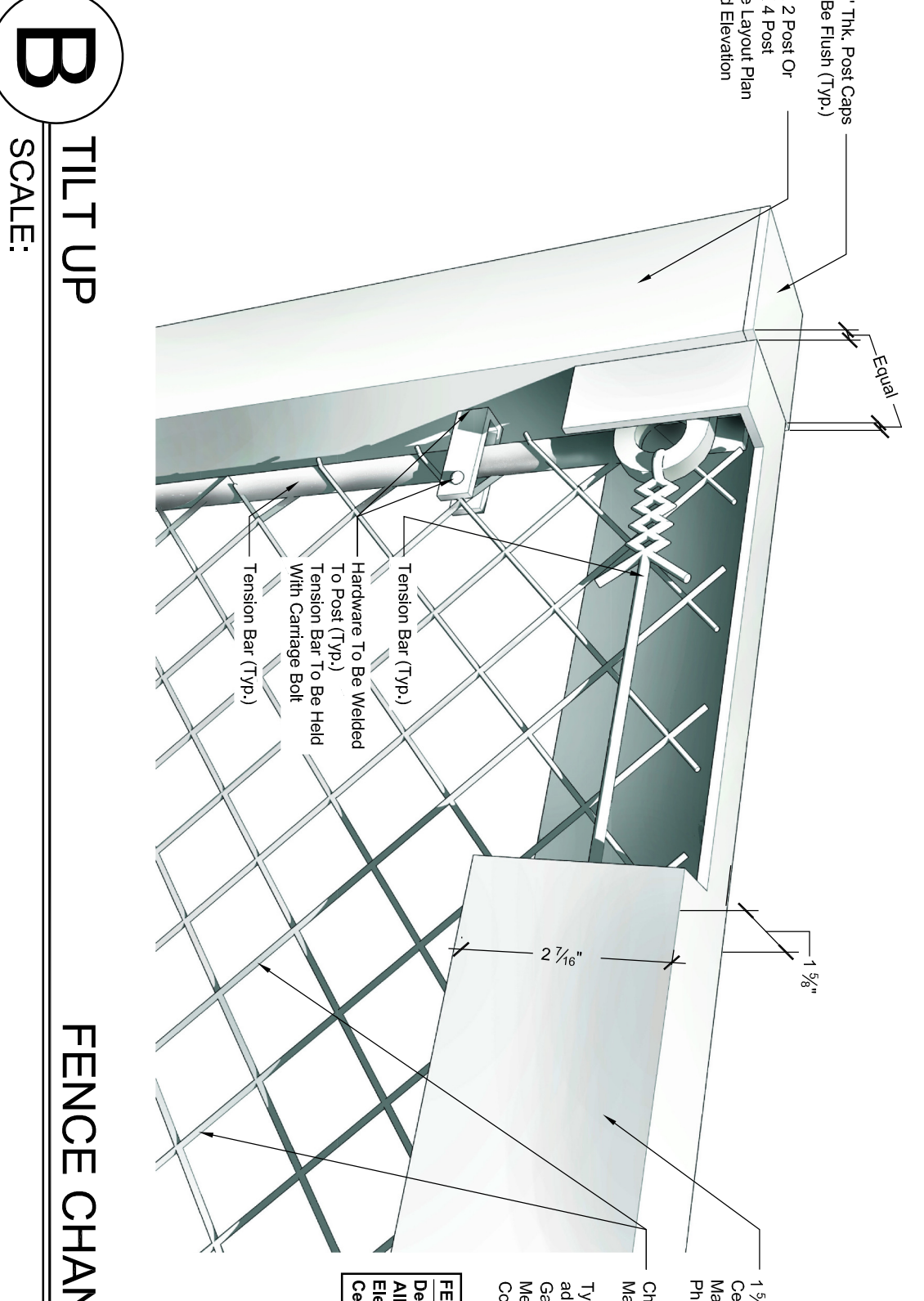
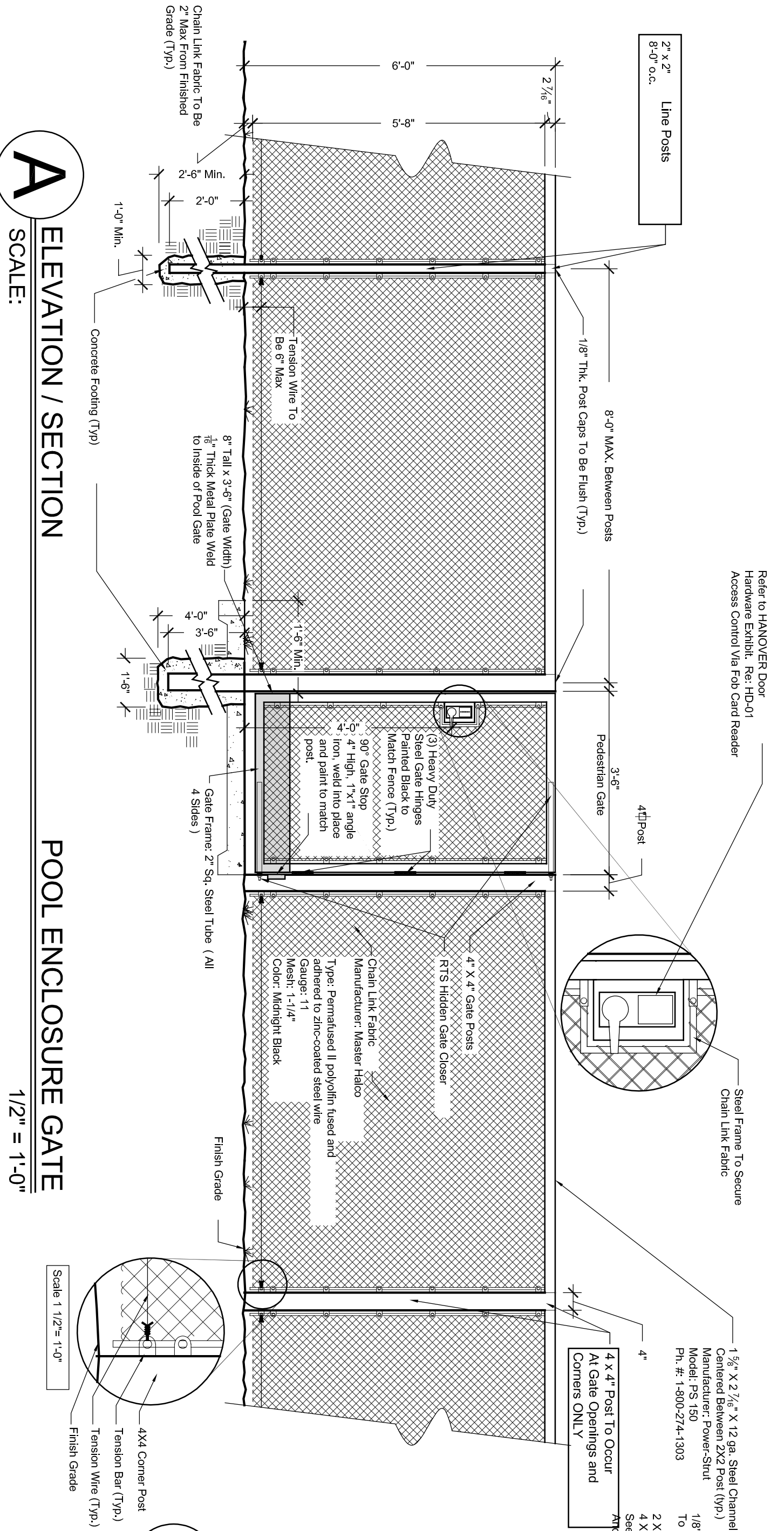
ISSUES AND REVISIONS:

08/02/2024 - SITE PLAN FILING

DETAILS
FENCING & MISC

DRAWN: AD/BA
PROJECT: 643
PLOT DATE: 08-02-2024

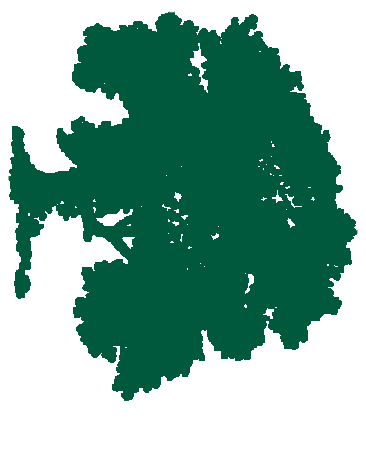
SHEET NUMBER: **L4.20**



NOTE:
1. All treated wood shall be an AOC or greater.
2. Steel shall be galvanized.
3. Steel shall be 304 or 316.
4. Steel shall be 1/2\"/>

NOTE:
1. All treated wood shall be an AOC or greater.
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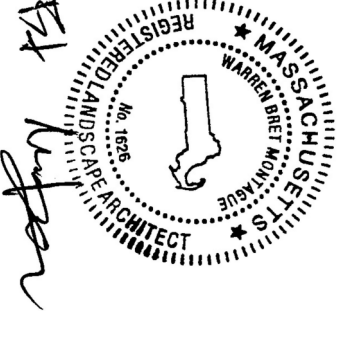


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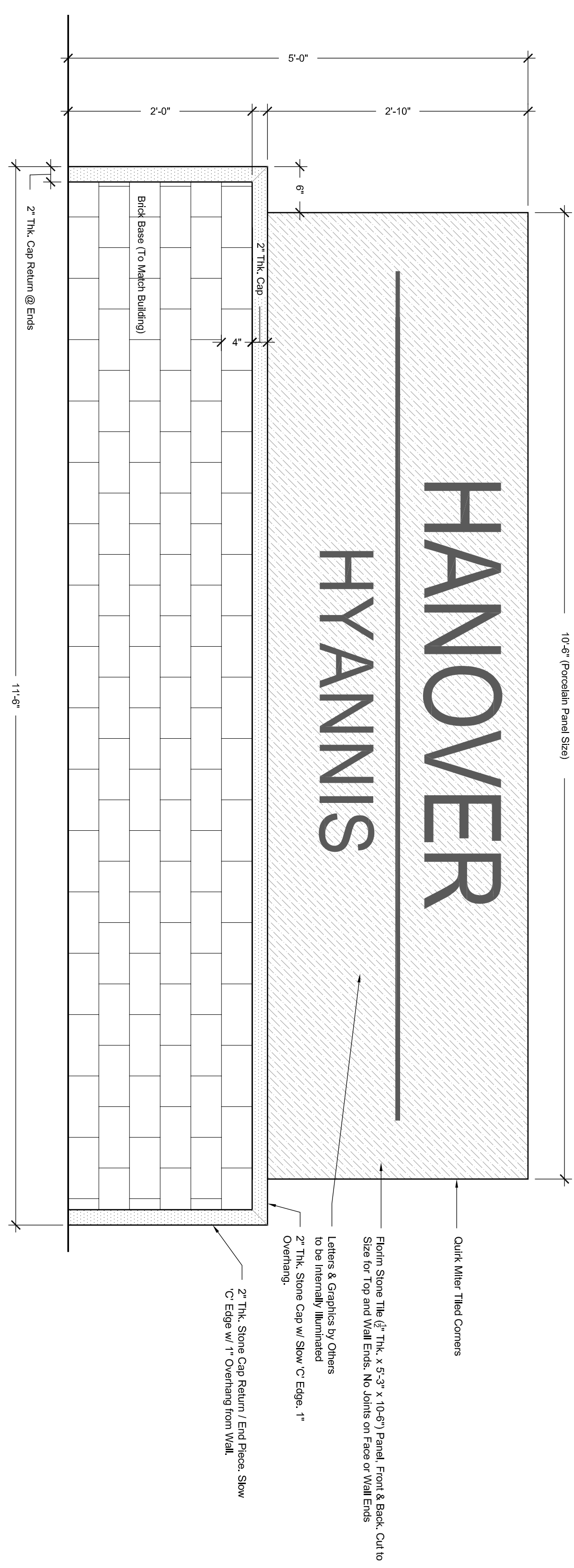
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Hyannis, MA 02630



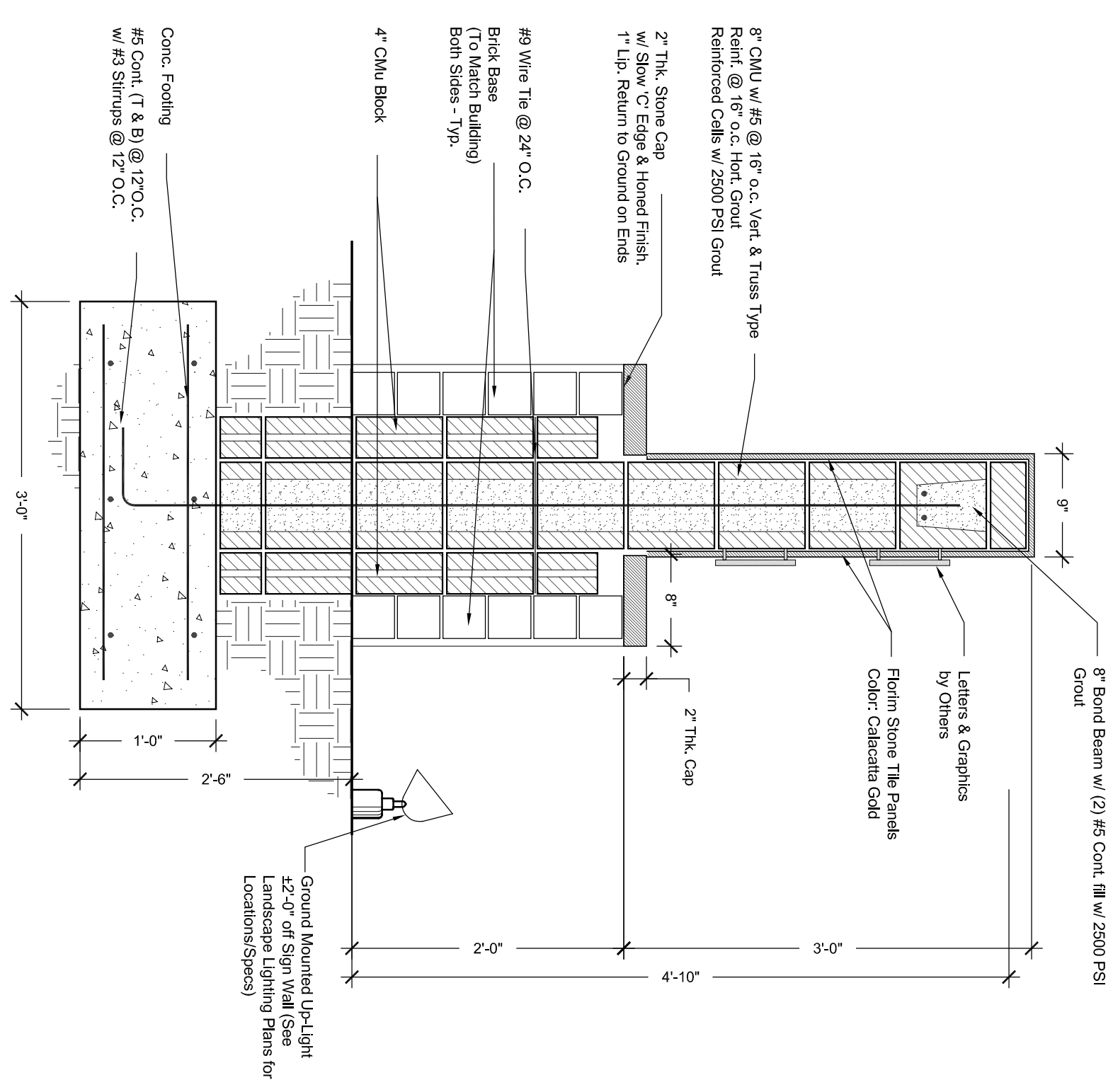
ISSUES AND REVISIONS:

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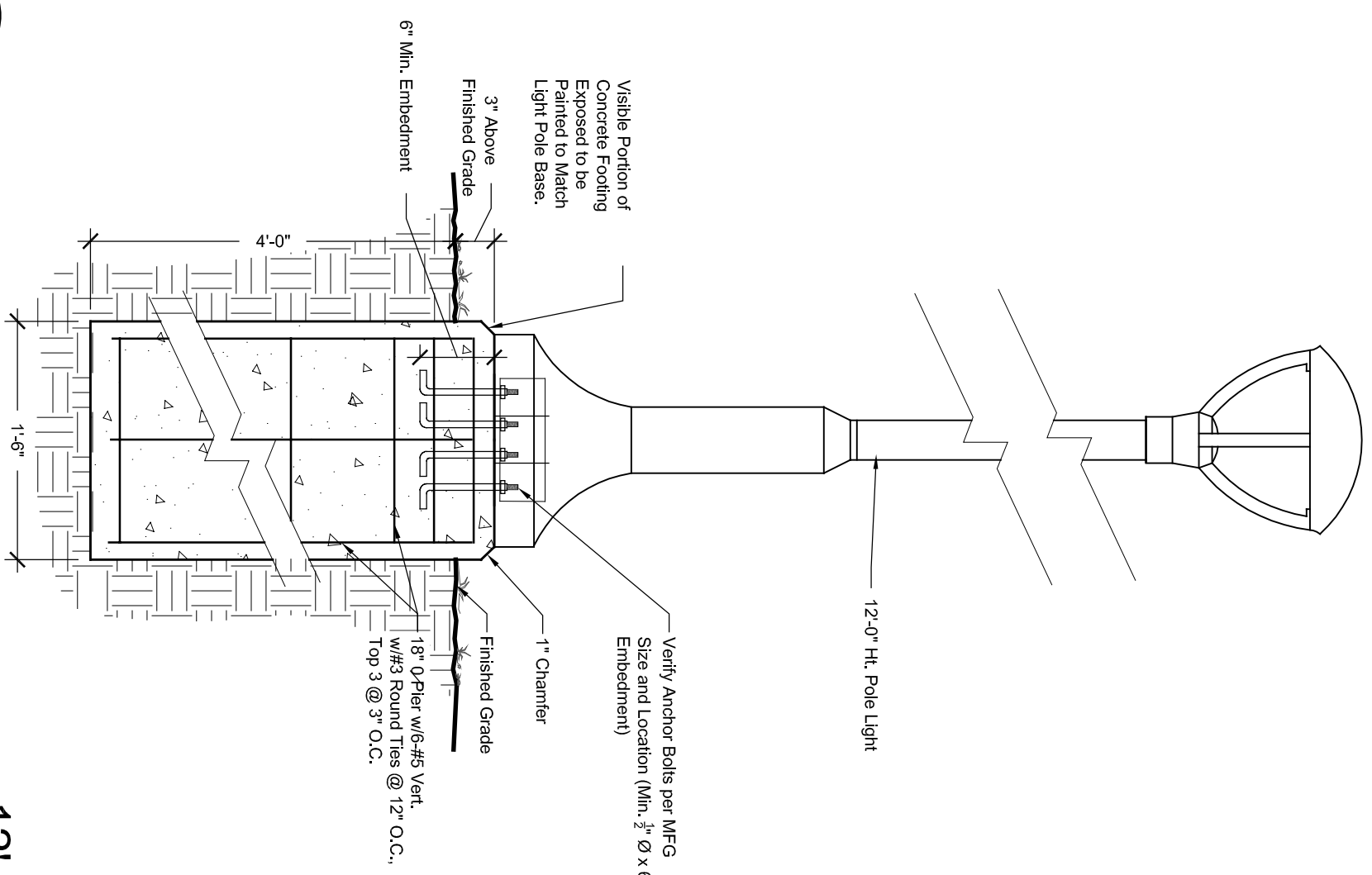
DETAILS
SIGN WALL & MISC



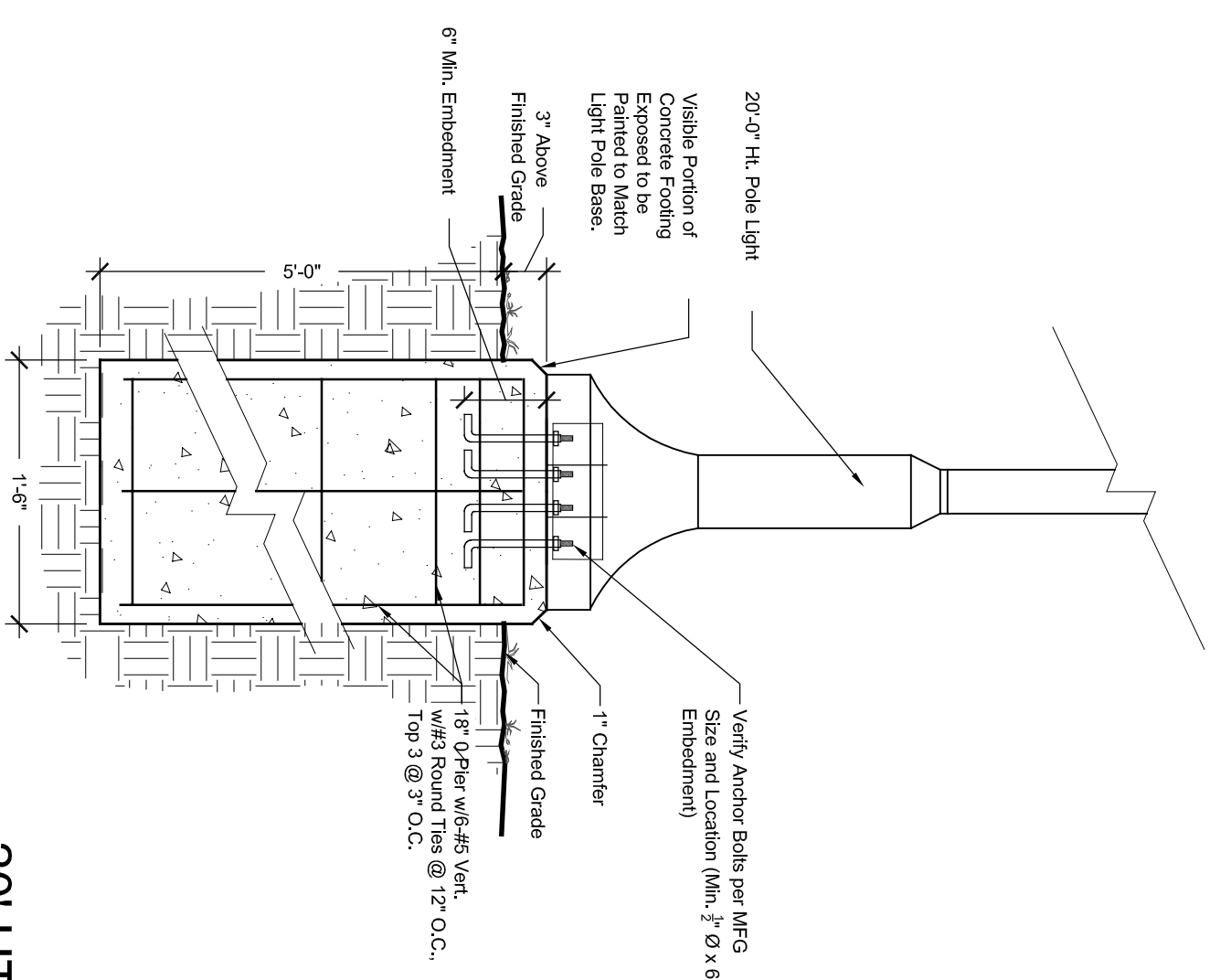
A ELEVATION
SCALE: 1" = 1'-0"



B SECTION
SCALE: 1" = 1'-0"

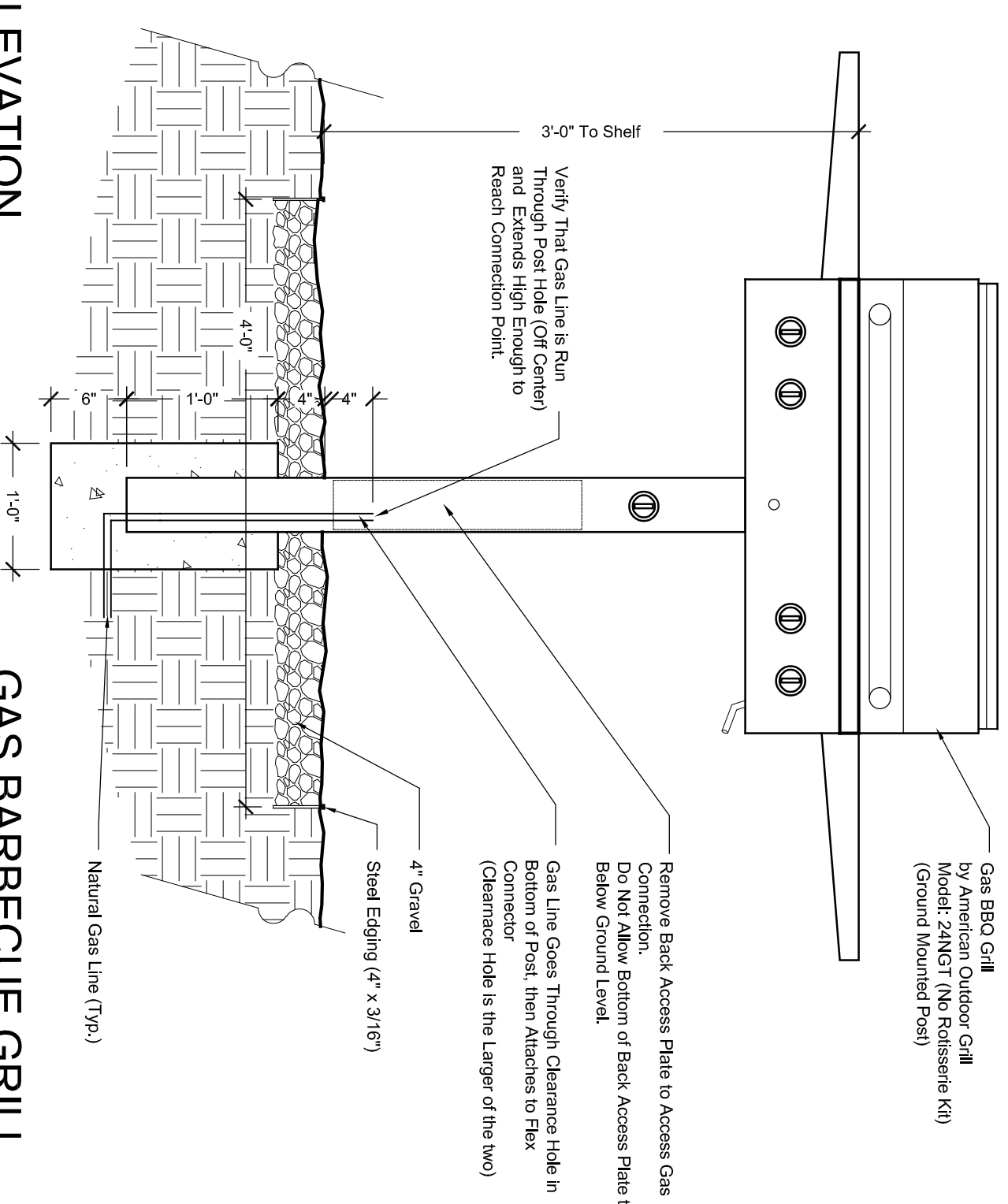


C SECTION
SCALE: 1" = 1'-0"



12' HT. POLE LIGHT
SCALE: 1" = 1'-0"

20' HT. POLE LIGHT
SCALE: 1" = 1'-0"



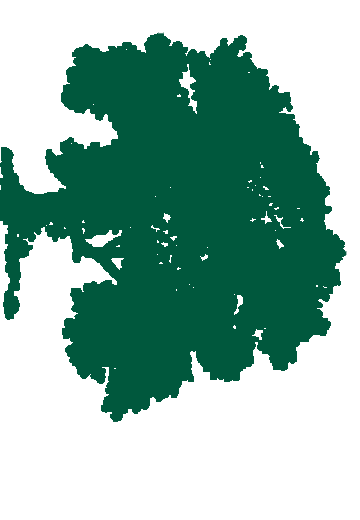
D ELEVATION
SCALE: 1" = 1'-0"

DRAWN: AD/BA

PROJECT: 643

PLOT DATE: 08-02-2024

SHEET NUMBER: L4.21



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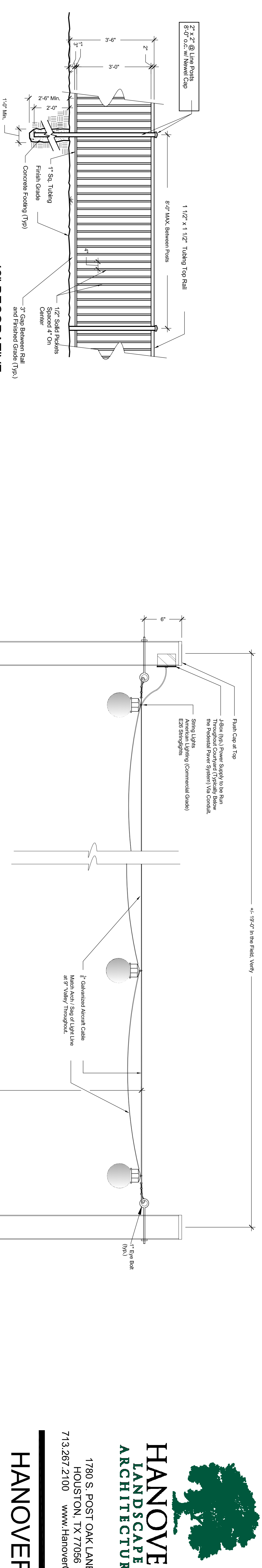
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Hyannis, MA 02630



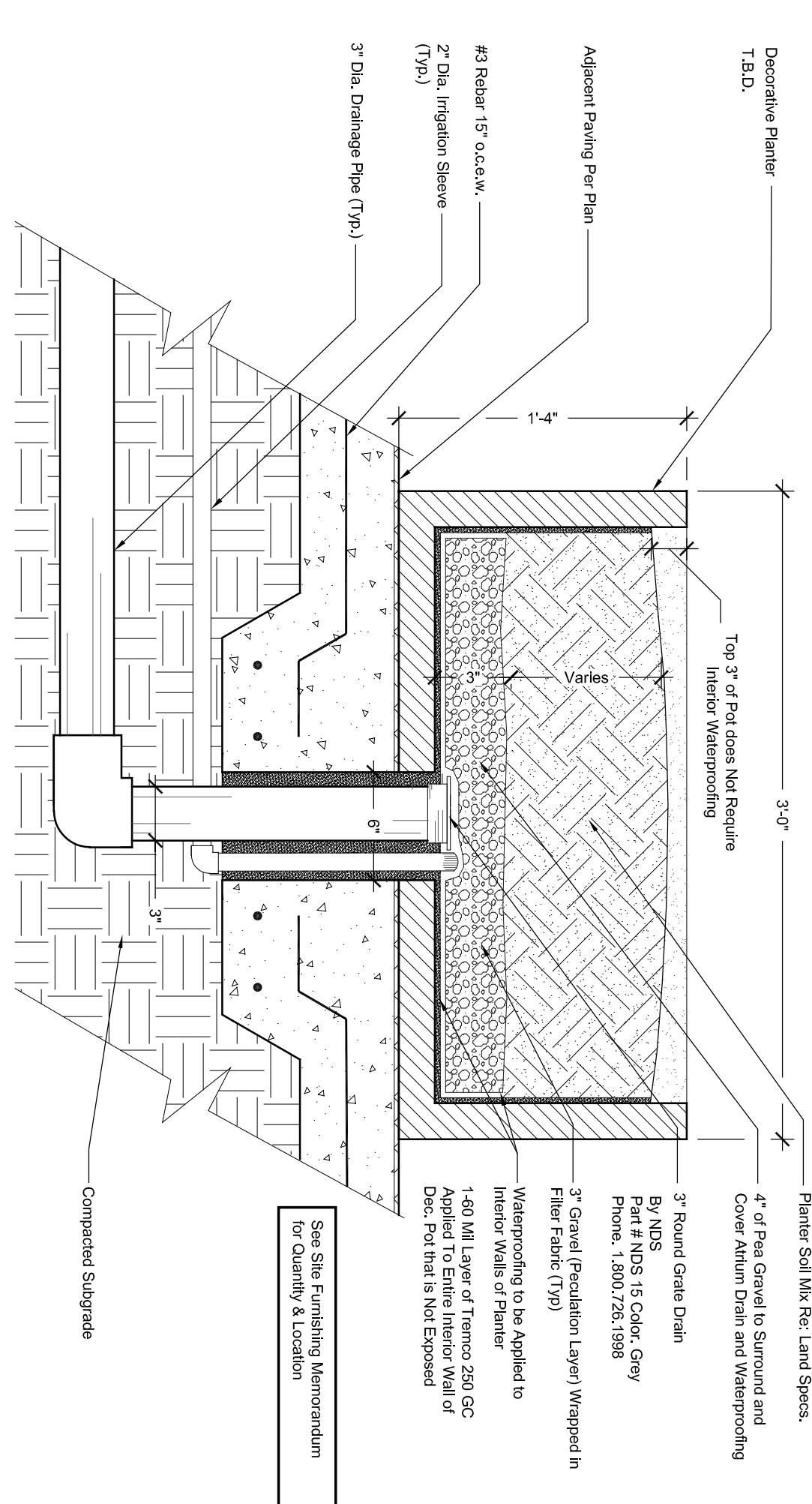
ISSUES AND REVISIONS:

08/02/2024 - SITE PLAN FILLS

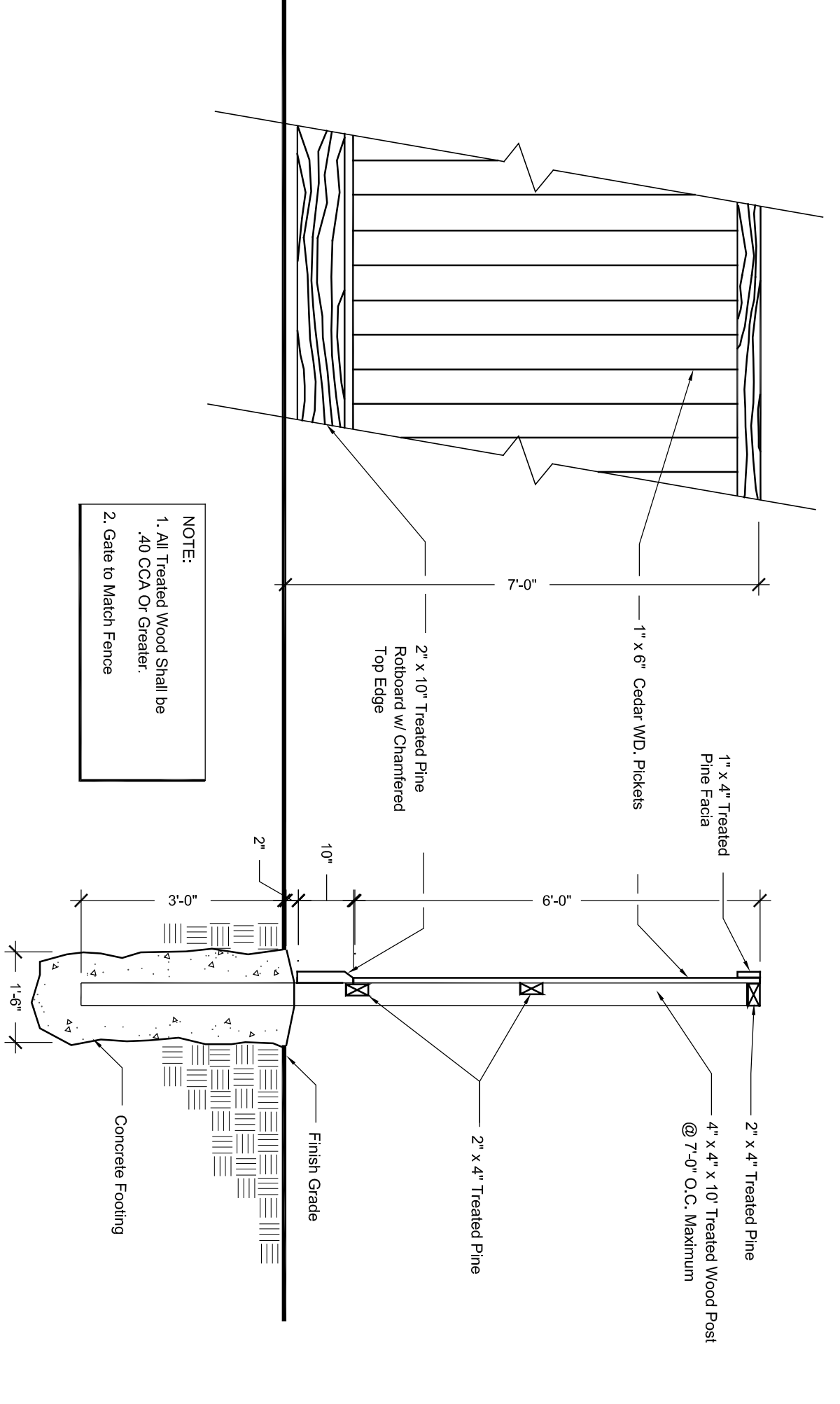
DETAILS
FENCING & MISC



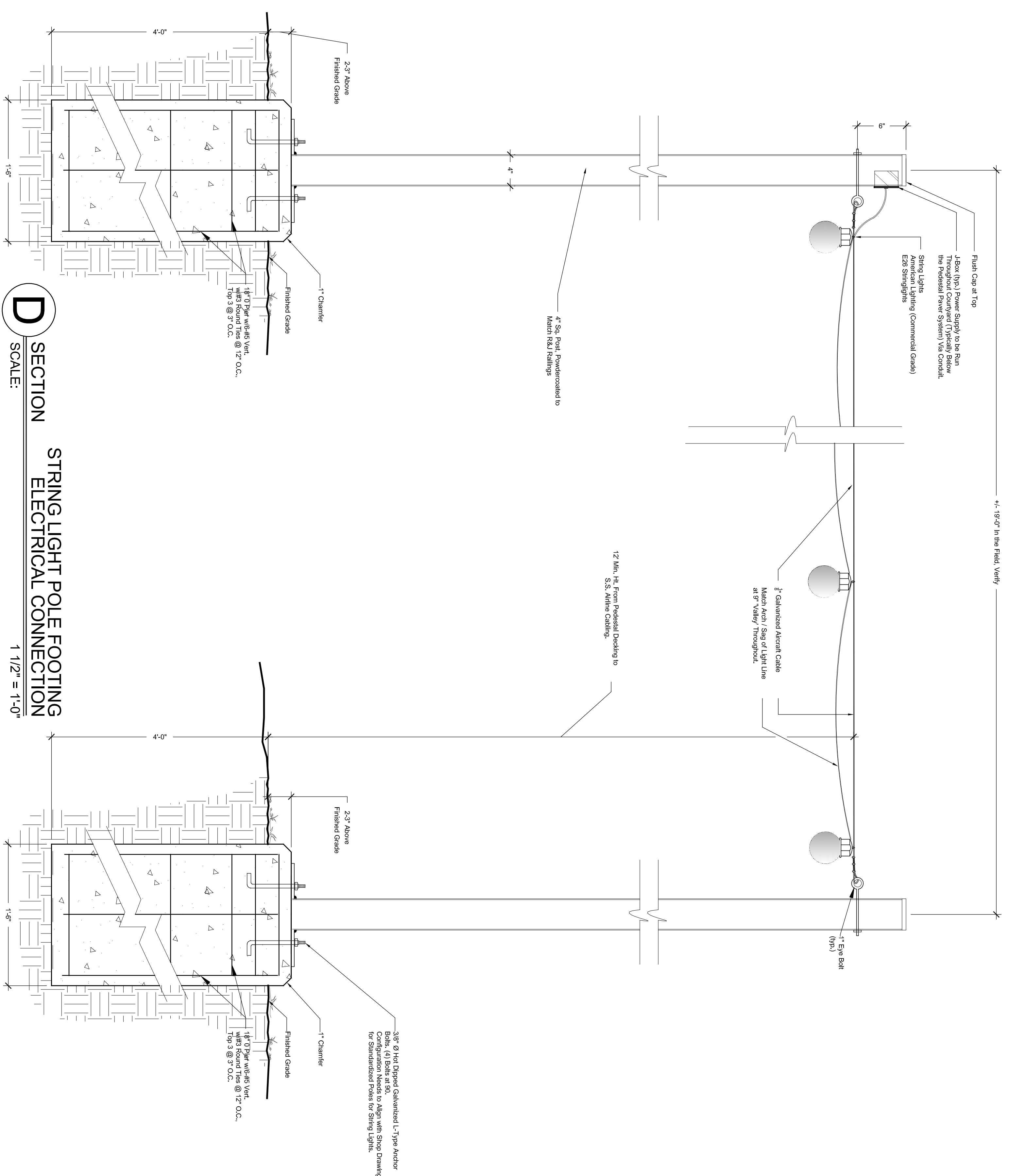
A ELEVATION/SECTION
SCALE: 1/2" = 1'-0"



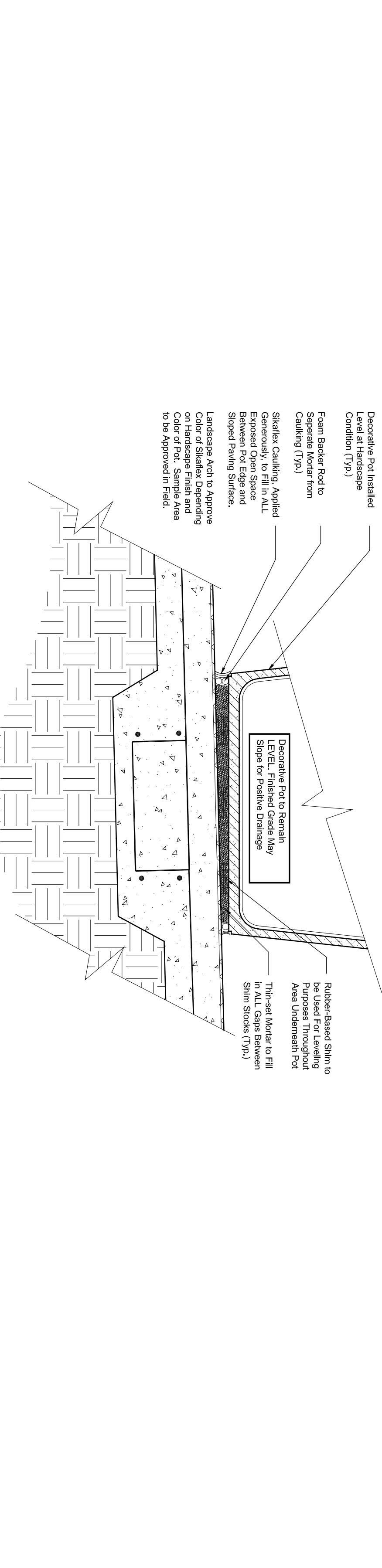
B SECTION
SCALE: 1 1/2" = 1'-0"



C SECTION
SCALE: 1/2" = 1'-0"

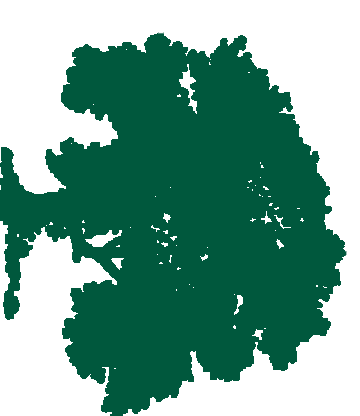


D SECTION
SCALE: 1 1/2" = 1'-0"



E SECTION
SCALE: 1 1/2" = 1'-0"

NOTE:
1. All Treated Wood Shall be .40 CCA Or Greater.
2. Galls to Match Fence



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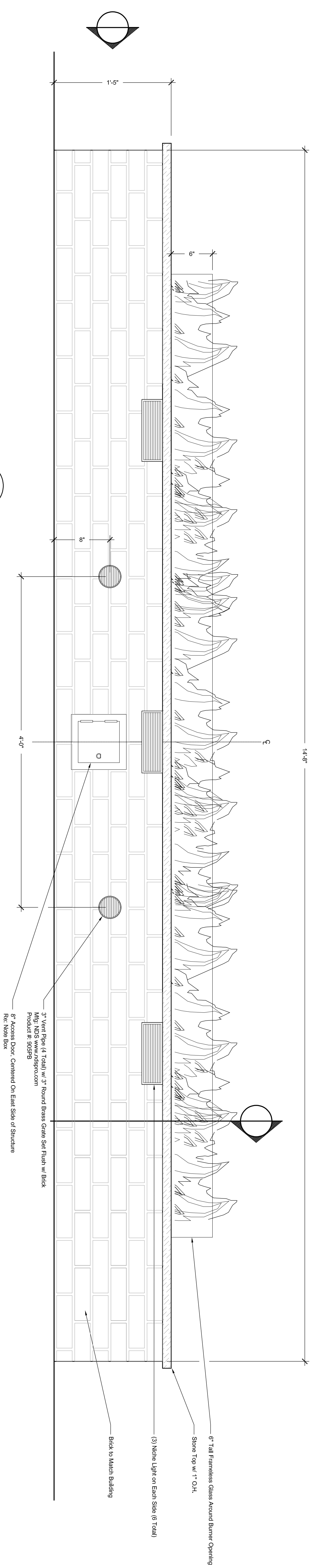
E. J. Wilson

ISSUES AND REVISIONS:

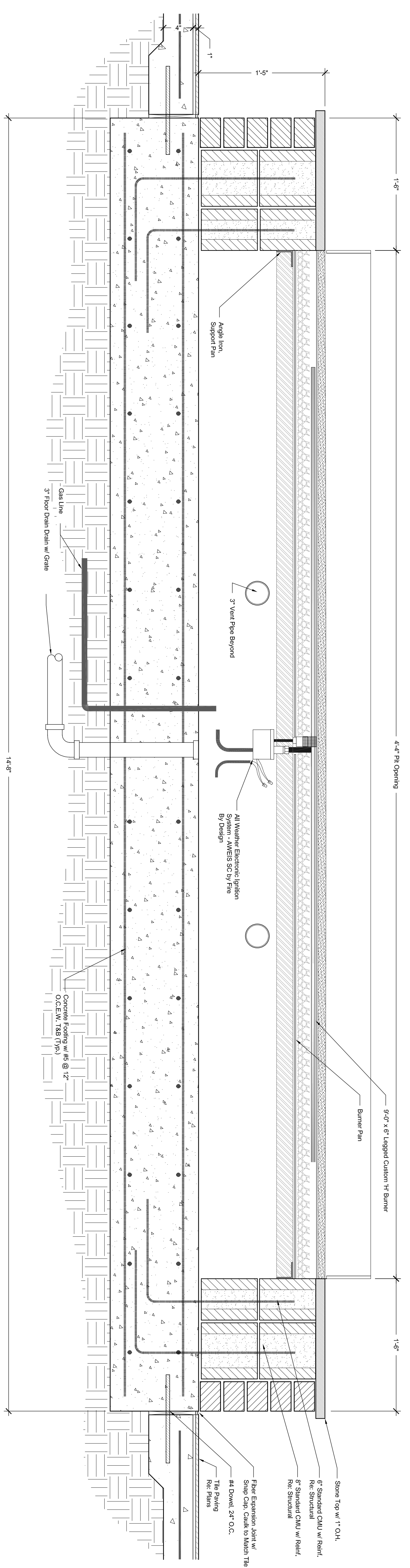
08/02/2024 - SITE PLAN FILING

DETAILS
FENCING & MISC

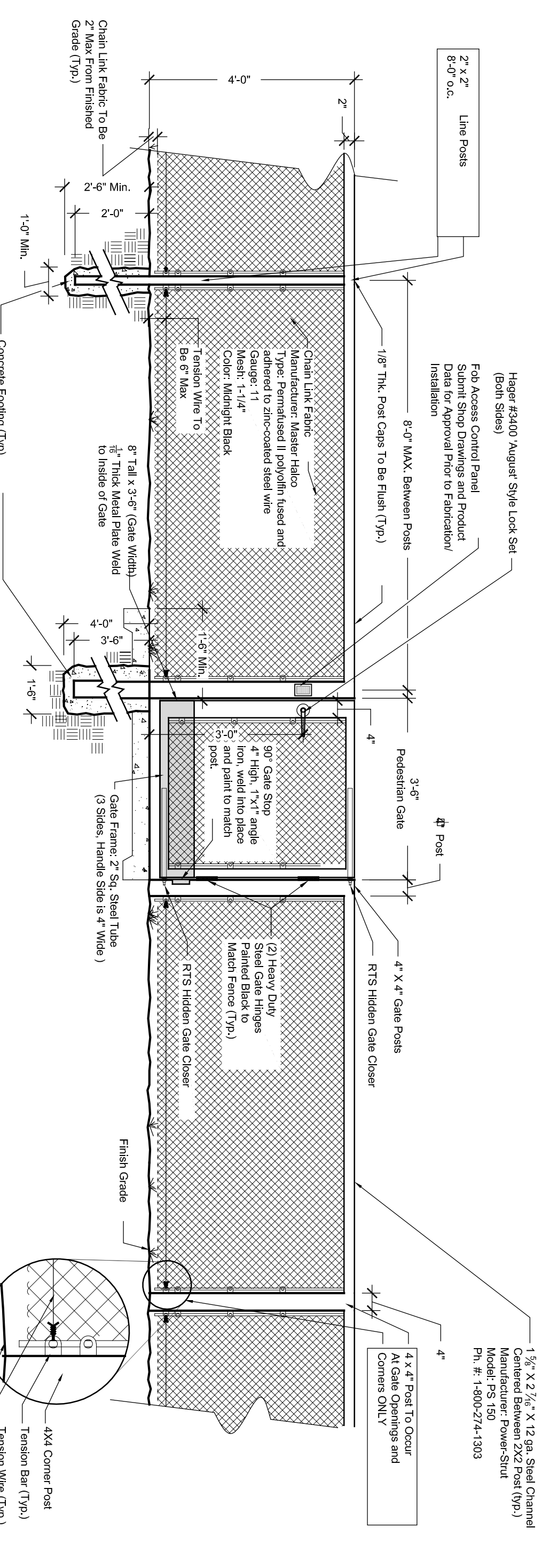
DRAWN: AD/BA
PROJECT: 643
PLOT DATE: 08-02-2024
SHEET NUMBER: **L4.30**



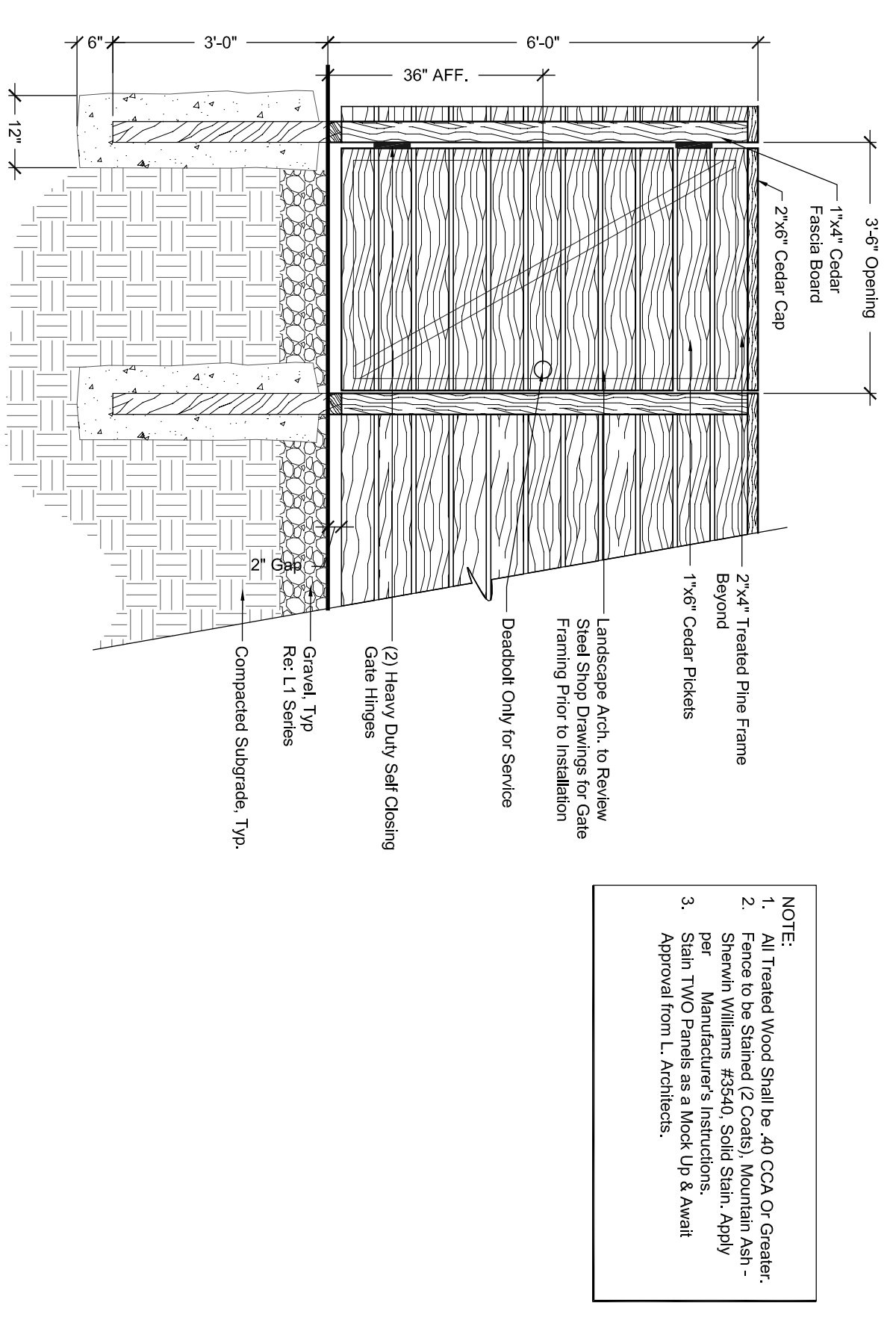
A ELEVATION
SCALE: 1/12" = 1'-0"
FIREPIT



B SECTION
SCALE: 1/12" = 1'-0"
FIREPIT



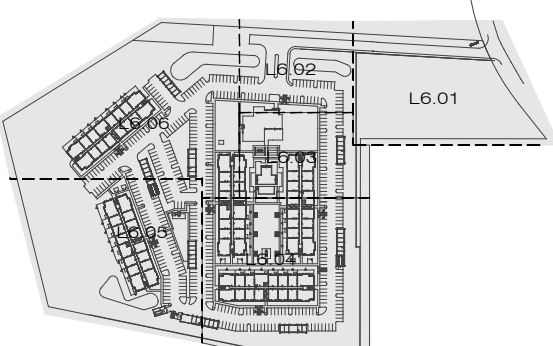
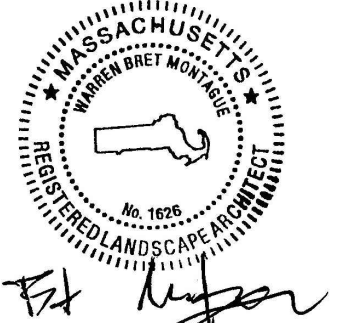
C ELEVATION / SECTION
SCALE: 1/12" = 1'-0"
DOG RUN GATE
w/ PERFORATED METAL



D ELEVATION / SECTION
SCALE: 1/12" = 1'-0"
6' HT. PERIMETER
HORIZ. WOOD PICKET GATE

NOTE:
1. All Treated Wood Shall be 40 OCA Or Greater.
2. Fence to be Stained (2 Coats), Mountain Ash - Sherwin Williams #3540, Solid Stain Apply 3. Slat, TIVO Panels as a Mock Up & await approval from L. Architects.

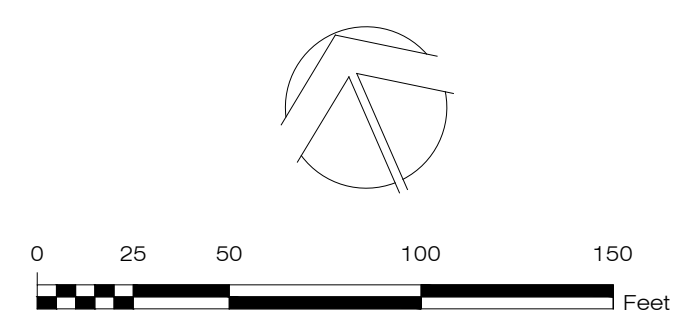
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ISSUES AND REVISIONS:

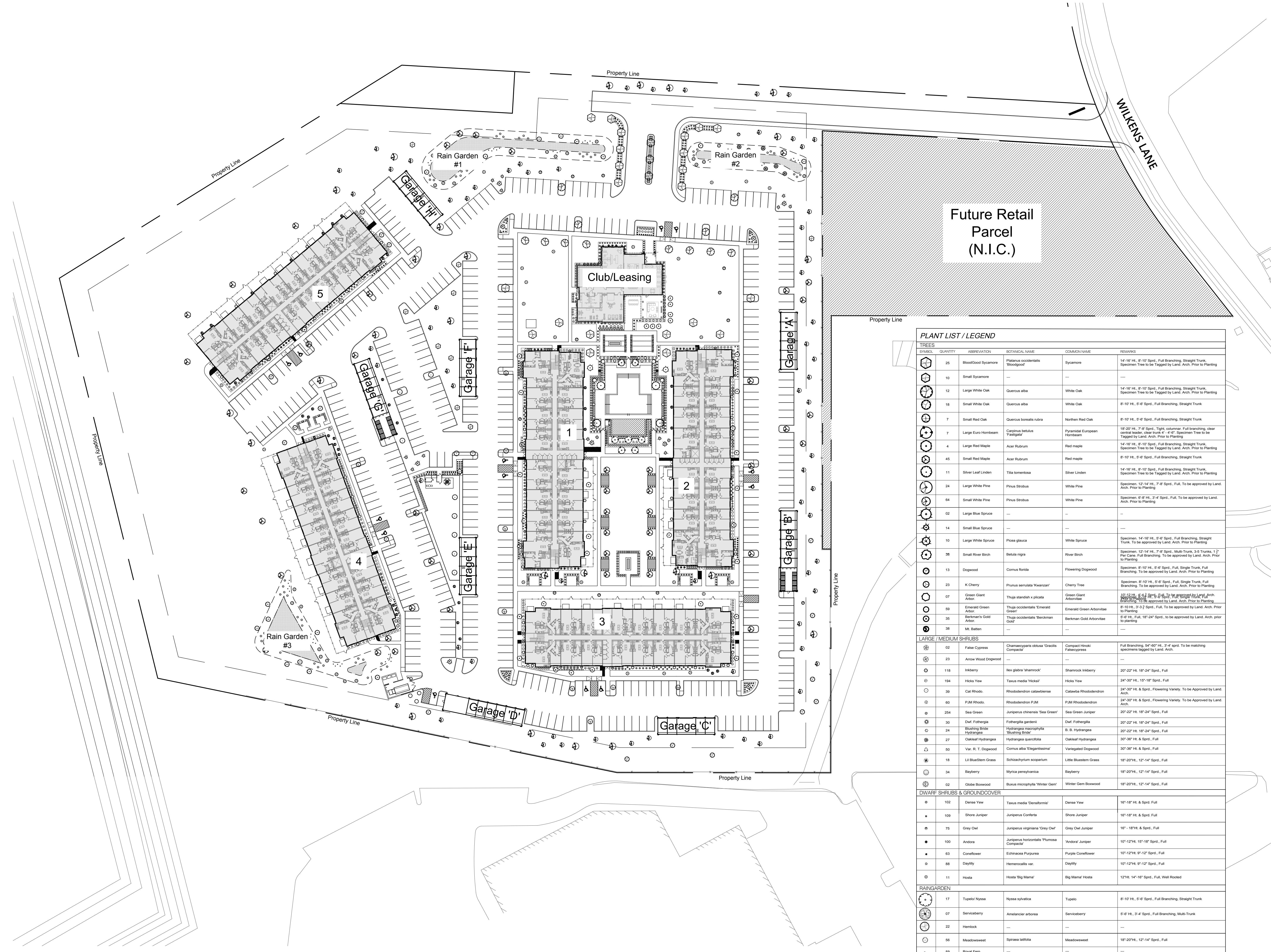
08/02/2024 - SITE PLAN FILING

PLANTING



DRAWN: AD/DM
PROJECT: 643
PLOT DATE: 08-02-2024

SHEET NUMBER: **L6.00**



Future Retail
Parcel
(N.I.C.)

PLANT LIST / LEGEND					
TREES					
SYMBOL	QUANTITY	ABBREVIATION	BOTANICAL NAME	COMMON NAME	REMARKS
	25	BloodGood Sycamore	<i>Platanus occidentalis</i> Bloodgood	Sycamore	14'-16' Ht., 8'-10' Spd., Full Branching, Straight Trunk. Specimen Tree to be Tagged by Land. Arch. Prior to Planting
	10	Small Sycamore	---	---	---
	12	Large White Oak	<i>Quercus alba</i>	White Oak	14'-16' Ht., 8'-10' Spd., Full Branching, Straight Trunk, Specimen Tree to be Tagged by Land. Arch. Prior to Planting
	18	Small White Oak	<i>Quercus alba</i>	White Oak	6'-10' Ht., 5'-6' Spd., Full Branching, Straight Trunk
	7	Small Red Oak	<i>Quercus borealis rubra</i>	Northern Red Oak	6'-10' Ht., 5'-6' Spd., Full Branching, Straight Trunk
	7	Large Euro Hornbeam	<i>Carpinus betulus</i> 'Fastigiata'	Pyramidal European Hornbeam	18'-20' Ht., 7'-8' Spd., Tight, columnar, Full branching, clear central leader, clear trunk 4" x 4". Specimen Tree to be Tagged by Land. Arch. Prior to Planting
	4	Large Red Maple	<i>Acer Rubrum</i>	Red maple	14'-16' Ht., 8'-10' Spd., Full Branching, Straight Trunk, Specimen Tree to be Tagged by Land. Arch. Prior to Planting
	45	Small Red Maple	<i>Acer Rubrum</i>	Red maple	6'-10' Ht., 5'-6' Spd., Full Branching, Straight Trunk
	11	Silver Leaf Linden	<i>Tilia tomentosa</i>	Silver Linden	14'-16' Ht., 8'-10' Spd., Full Branching, Straight Trunk, Specimen Tree to be Tagged by Land. Arch. Prior to Planting
	24	Large White Pine	<i>Pinus Strobus</i>	White Pine	Specimen, 12'-14' Ht., 7'-8' Spd., Full, To be approved by Land. Arch. Prior to Planting
	64	Small White Pine	<i>Pinus Strobus</i>	White Pine	Specimen, 6'-8' Ht., 3'-4' Spd., Full, To be approved by Land. Arch. Prior to Planting
	02	Large Blue Spruce	---	---	---
	14	Small Blue Spruce	---	---	---
	10	Large White Spruce	<i>Picea glauca</i>	White Spruce	Specimen, 14'-16' Ht., 6'-8' Spd., Full Branching, Straight Trunk, To be approved by Land. Arch. Prior to Planting
	38	Small River Birch	<i>Betula nigra</i>	River Birch	Specimen, 12'-14' Ht., 7'-8' Spd., Multi-Trunk, 3-5 Trunks, 1 1/2" Flat Cane, Full Branching, To be approved by Land. Arch. Prior to Planting
	13	Dogwood	<i>Cornus florida</i>	Flowering Dogwood	Specimen, 8'-10' Ht., 5'-6' Spd., Full, Single Trunk, Full Branching, To be approved by Land. Arch. Prior to Planting
	23	K Cherry	<i>Prunus serotina</i> 'Kasanzan'	Cherry Tree	Specimen, 8'-10' Ht., 5'-6' Spd., Full, Single Trunk, Full Branching, To be approved by Land. Arch. Prior to Planting
	07	Green Giant Arborvitae	<i>Thuja standishii</i> 'picolata'	Green Giant Arborvitae	Specimen, 12'-14' Ht., 7'-8' Spd., Full, Single Trunk, Full Branching, To be approved by Land. Arch. Prior to Planting
	59	Emerald Green Arborvitae	<i>Thuja occidentalis</i> 'Emerald Green'	Emerald Green Arborvitae	6'-10' Ht., 3'-2 1/2' Spd., Full, To be approved by Land. Arch. Prior to Planting
	35	Berkman's Gold Arborvitae	<i>Thuja occidentalis</i> 'Berkman's Gold'	Berkman's Gold Arborvitae	6'-8' Ht., Full, 18"-24" Spd., to be approved by Land. Arch. prior to planting
	38	Mt. Bassett	---	---	---
LARGE / MEDIUM SHRUBS					
	02	Felix Cypress	<i>Chamaecyparis obtusa</i> 'Gracilis Compacta'	Compact Hinoki Falsecypress	Full Branching, 54"-60" Ht., 3'-4' Spd., To be matching specimens tagged by Land. Arch.
	23	Arrow Wood Dogwood	---	---	---
	118	Inkberry	<i>Ilex glabra</i> 'Inkberry'	Shamrock Inkberry	20"-22" Ht., 18"-24" Spd., Full
	184	Hicks Yew	<i>Taxus media</i> 'Hicks'	Hicks Yew	24"-30" Ht., 15"-18" Spd., Full
	39	Cat Rhodo	<i>Rhododendron catawbiense</i>	Catawba Rhododendron	24"-30" Ht., 8' Spd., Flowering Variety, To be Approved by Land. Arch.
	60	PJM Rhodo	<i>Rhododendron PJM</i>	PJM Rhododendron	24"-30" Ht., 8' Spd., Flowering Variety, To be Approved by Land. Arch.
	254	Sea Green	<i>Juniperus chinensis</i> 'Sea Green'	Sea Green Juniper	20"-22" Ht., 18"-24" Spd., Full
	30	Dwf. Fothergilla	<i>Fothergilla gardenii</i>	Dwf. Fothergilla	20"-22" Ht., 18"-24" Spd., Full
	24	Blushing Bride Hydrangea	<i>Hydrangea macrophylla</i> 'Blushing Bride'	B. B. Hydrangea	20"-22" Ht., 18"-24" Spd., Full
	27	Oakleaf Hydrangea	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	30"-36" Ht., 8' Spd., Full
	50	Var. R. T. Dogwood	<i>Cornus alba</i> 'Elegantissima'	Variagated Dogwood	30"-36" Ht., 8' Spd., Full
	18	Little Bluestem Grass	<i>Schizachyrium scoparium</i>	Little Bluestem Grass	18"-20" Ht., 12"-14" Spd., Full
	34	Bayberry	<i>Myrica pensylvanica</i>	Bayberry	18"-20" Ht., 12"-14" Spd., Full
	02	Globe Boxwood	<i>Buxus microphylla</i> 'Winter Gem'	Winter Gem Boxwood	18"-20" Ht., 12"-14" Spd., Full
DWARF SHRUBS & GROUND COVER					
	102	Dense Yew	<i>Taxus media</i> 'Densiformis'	Dense Yew	16"-18" Ht. & Spd. Full
	109	Shore Juniper	<i>Juniperus conferta</i>	Shore Juniper	16"-18" Ht. & Spd. Full
	75	Grey Owl	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	16"-18" Ht. & Spd. Full
	100	Andora	<i>Juniperus horizontalis</i> 'Plumosa Compacta'	'Andora' Juniper	10"-12" Ht., 10"-16" Spd., Full
	63	Coneflower	<i>Echinacea Purpurea</i>	Purple Coneflower	10"-12" Ht., 9"-12" Spd., Full
	88	Daylily	<i>Heemerocallis</i> var.	Daylily	10"-12" Ht., 9"-12" Spd., Full
	11	Hosta	<i>Hosta</i> 'Big Mama'	'Big Mama' Hosta	12" Ht., 14"-16" Spd., Full, Well Rooted
RAINGARDEN					
	17	Tupelo/ Nyssa	<i>Nyssa sylvatica</i>	Tupelo	6'-10' Ht., 5'-6' Spd., Full Branching, Straight Trunk
	07	Servicberry	<i>Amelanchier arborea</i>	Servicberry	5'-6' Ht., 3'-4' Spd., Full Branching, Multi-Trunk
	22	Hemlock	---	---	---
	66	Meadowsweet	<i>Spiraea latifolia</i>	Meadowsweet	18"-20" Ht., 12"-14" Spd., Full
	59	Royal Fern	---	---	---



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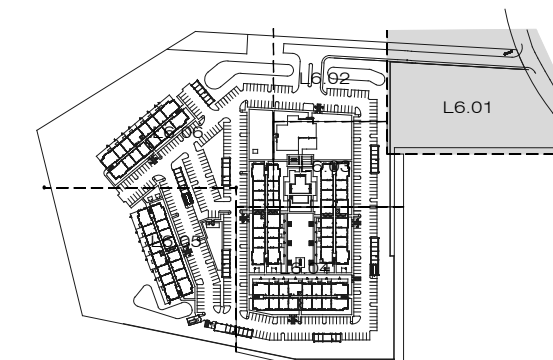
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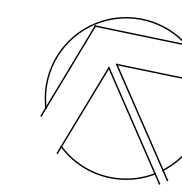
Ed Meyer



ISSUES AND REVISIONS:

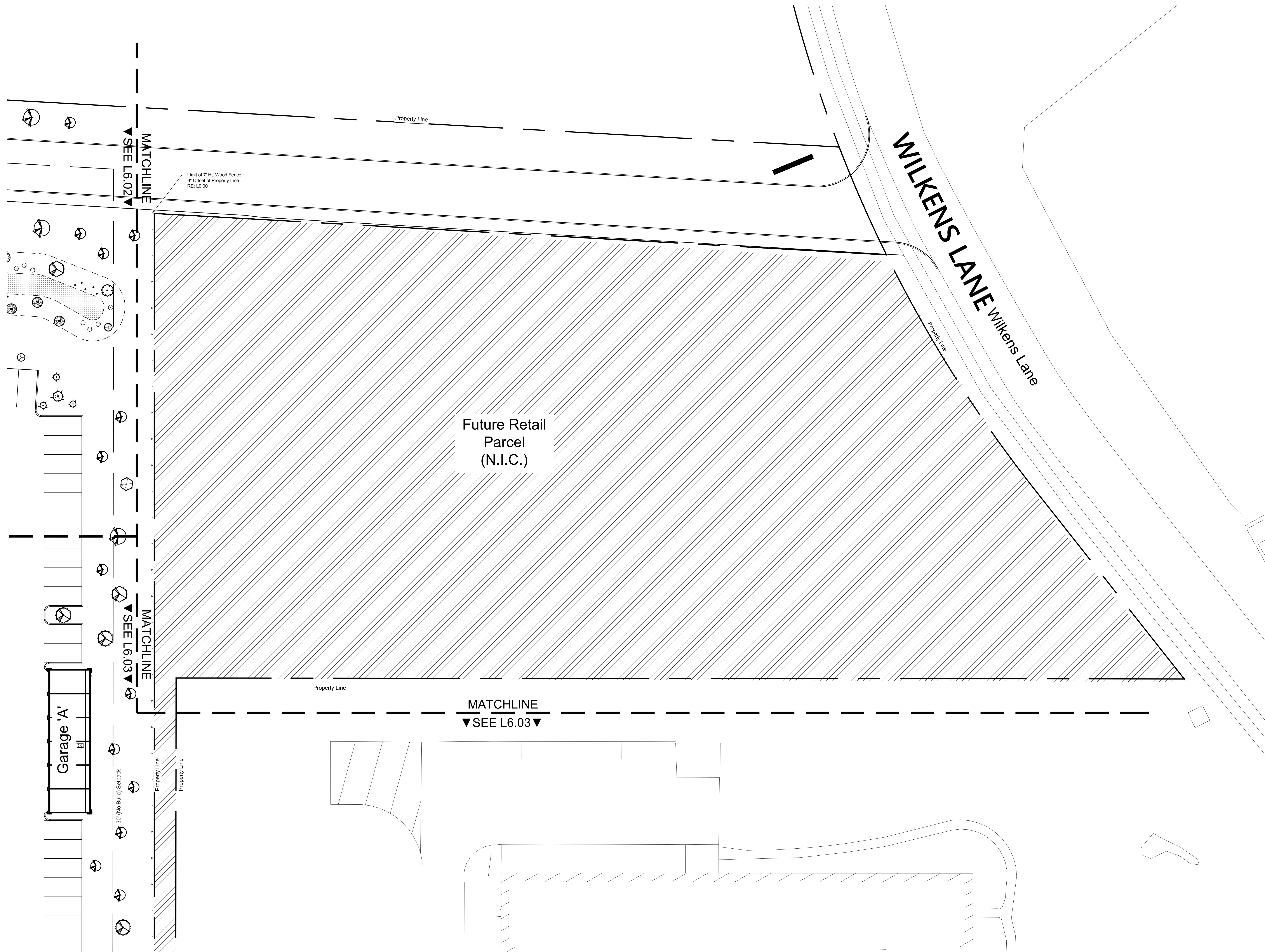
08/02/2024 - SITE PLAN FILING

PLANTING



DRAWN: _____ AD/BM
PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

SHEET
NUMBER: **L6.01**

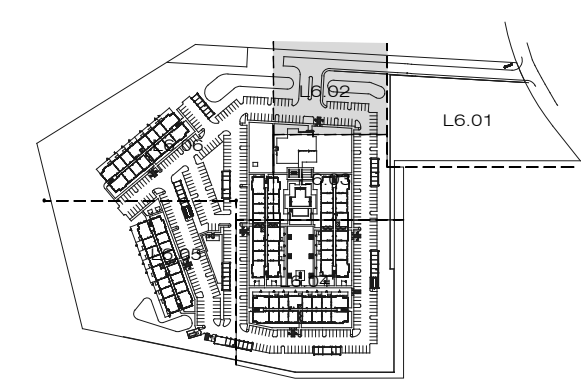




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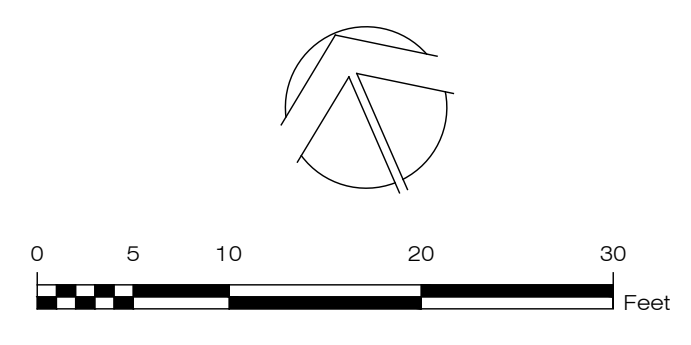
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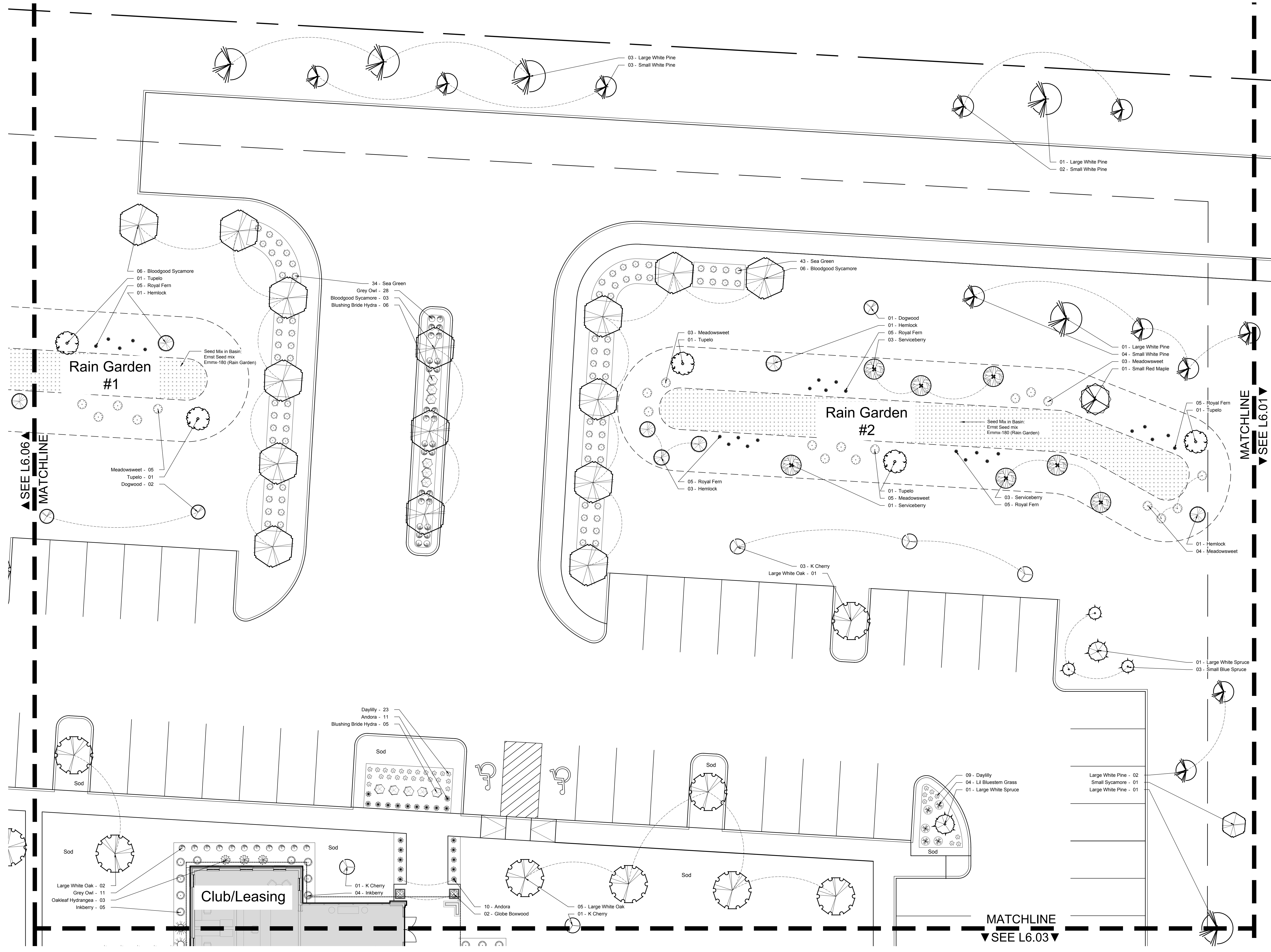
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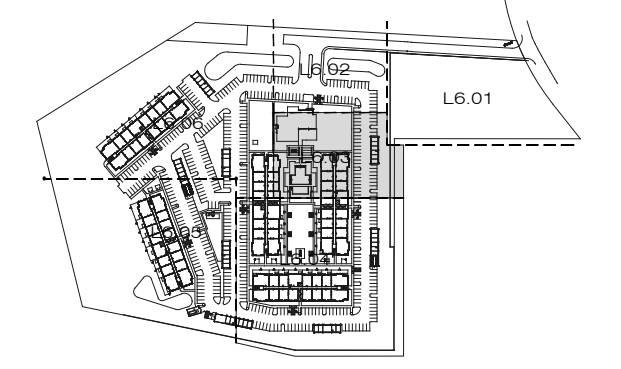


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PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

SHEET NUMBER: **L6.02**



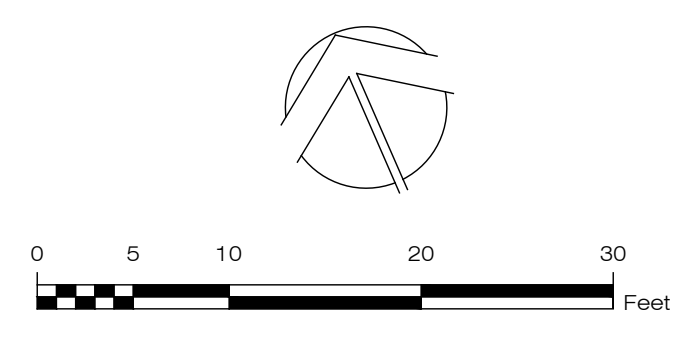
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ISSUES AND REVISIONS:

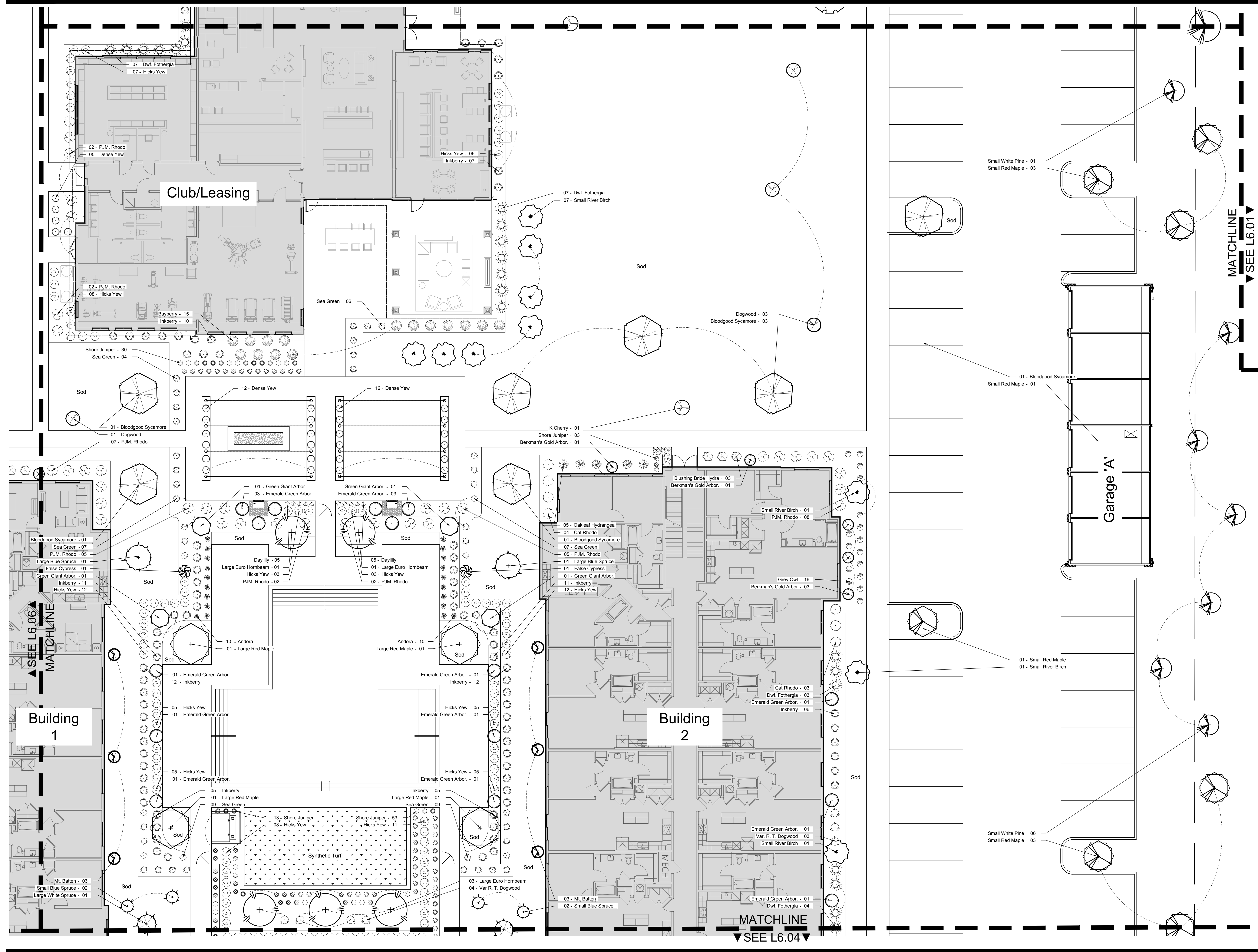
08/02/2024 - SITE PLAN FILING

PLANTING



DRAWN: AD/BM
PROJECT: 643
PLOT DATE: 08-02-2024

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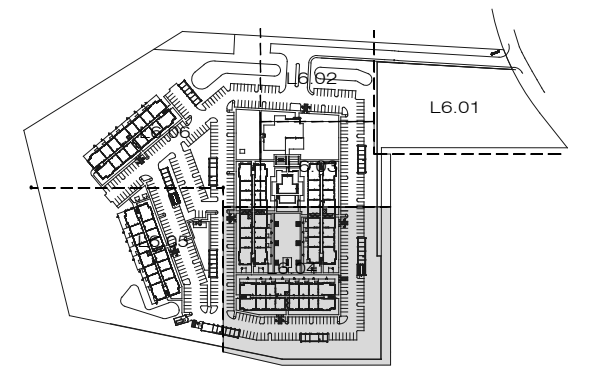




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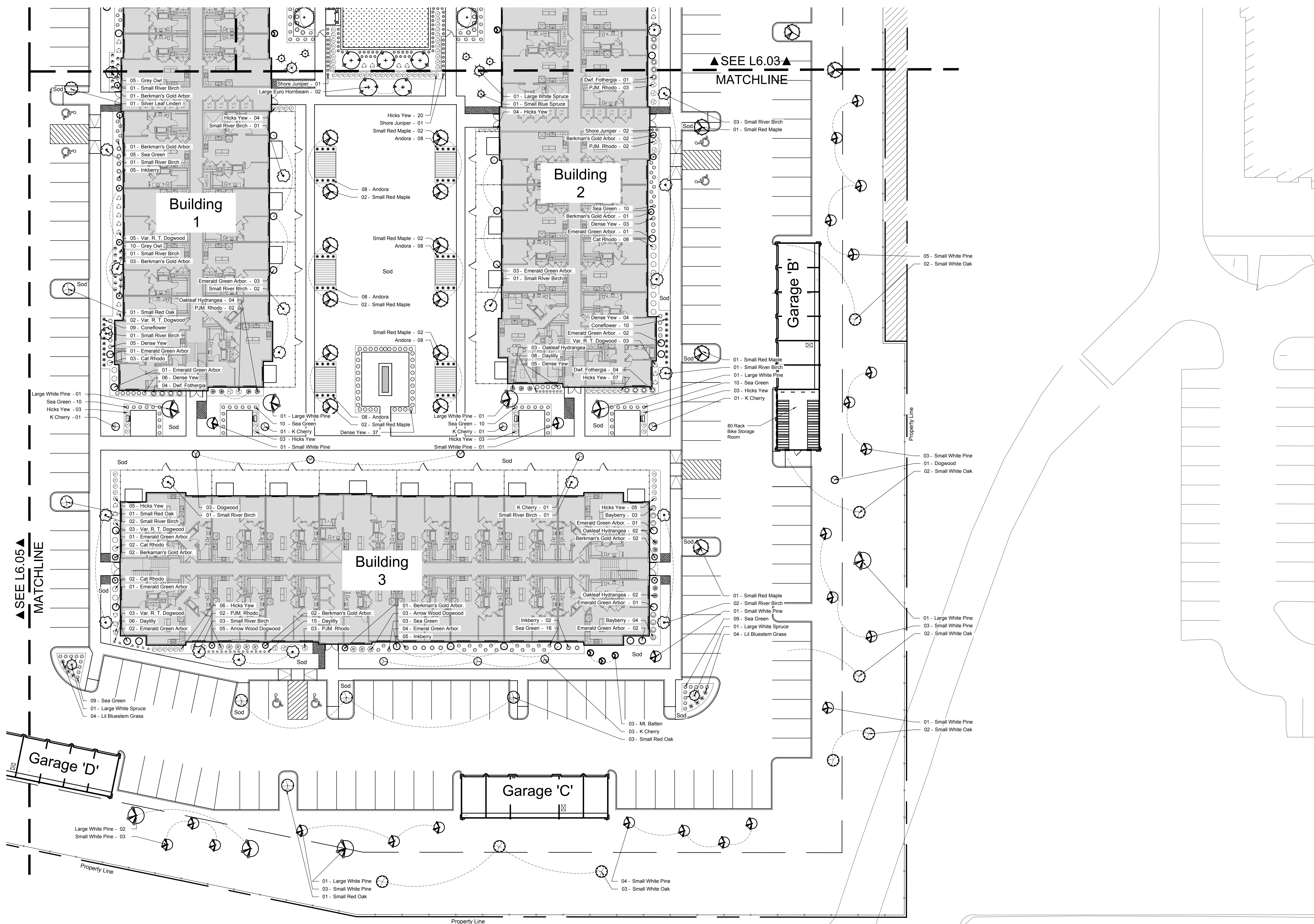
08/02/2024 - SITE PLAN FILING

PLANTING



DRAWN: AD/BM
PROJECT: 643
PLOT DATE: 08-02-2024

SHEET NUMBER: **L6.04**



▲ SEE L6.03 ▲
MATCHLINE

▲ SEE L6.05 ▲
MATCHLINE

Building 1

Building 2

Building 3

Garage 'B'

Garage 'D'

Garage 'C'

Property Line

Property Line

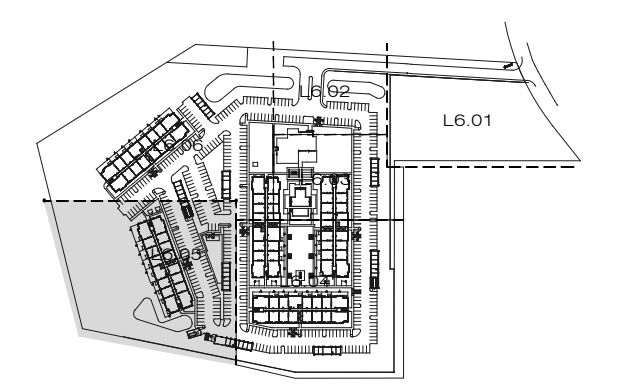
Property Line



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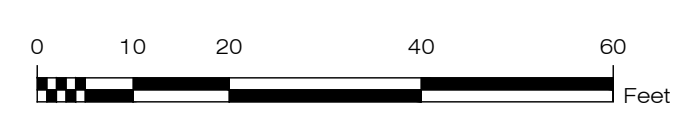
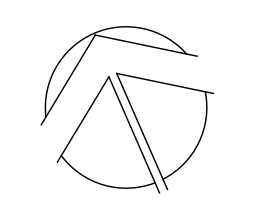
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ISSUES AND REVISIONS:

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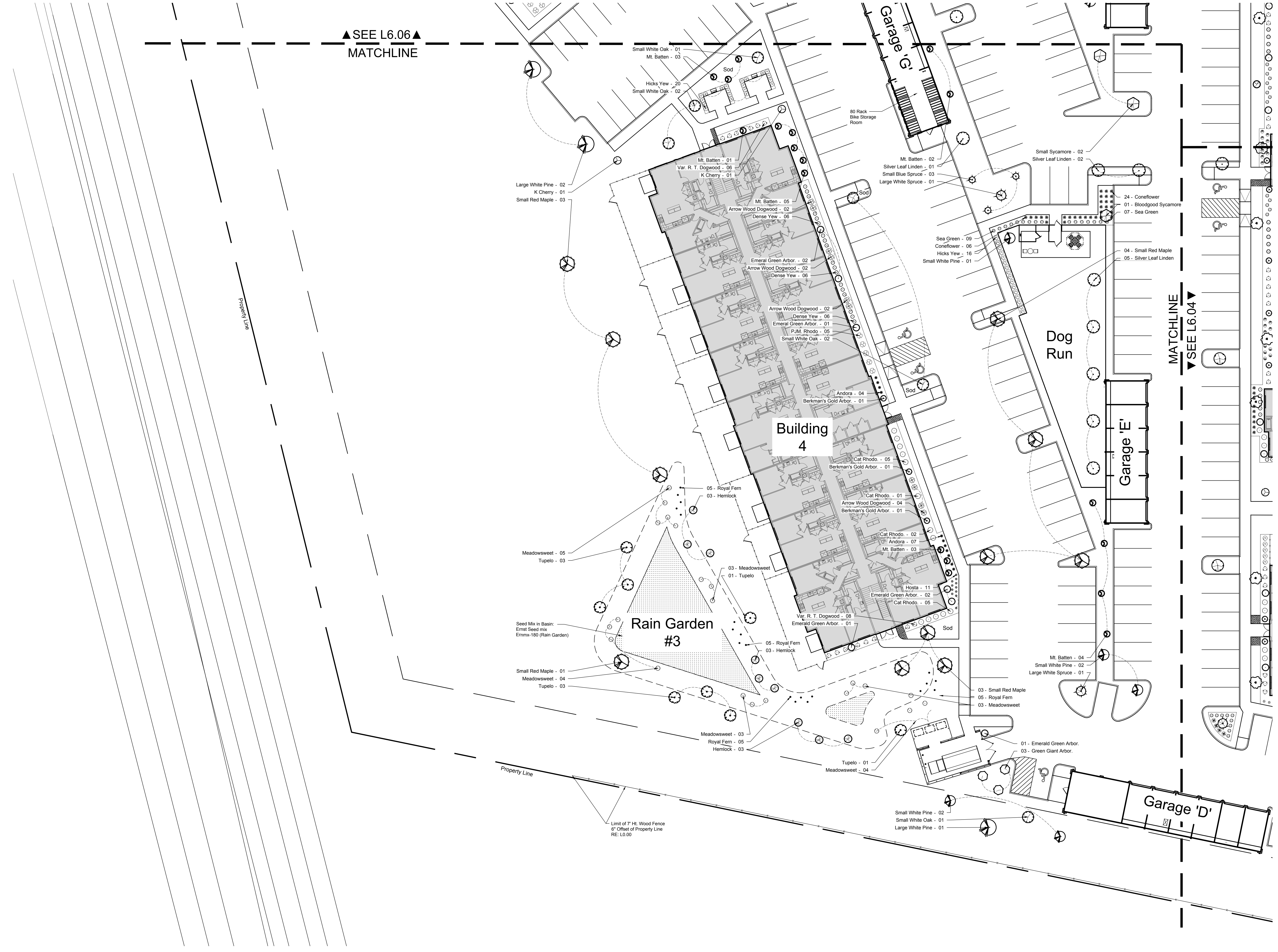


DRAWN: _____ AD/BM
PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

SHEET NUMBER: **L6.05**

▲ SEE L6.06 ▲
MATCHLINE

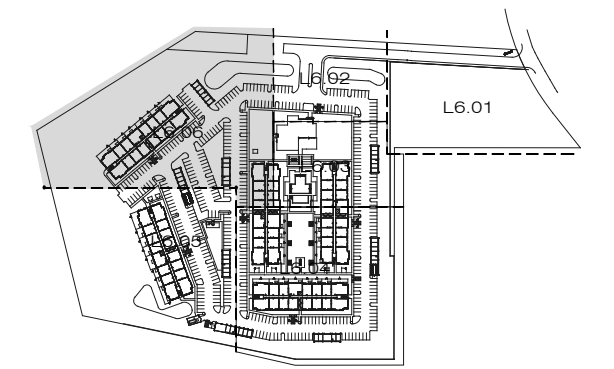
MATCHLINE
▼ SEE L6.04 ▼



all Areas

Limit of 7 Ht. Wood Fence
5' Offset of Property Line
RE: L6.00

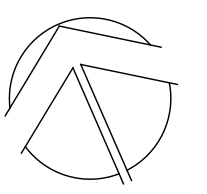
HANOVER
HYANNIS II
Wilkens Lane
Hyannis, MA 02630



ISSUES AND REVISIONS:

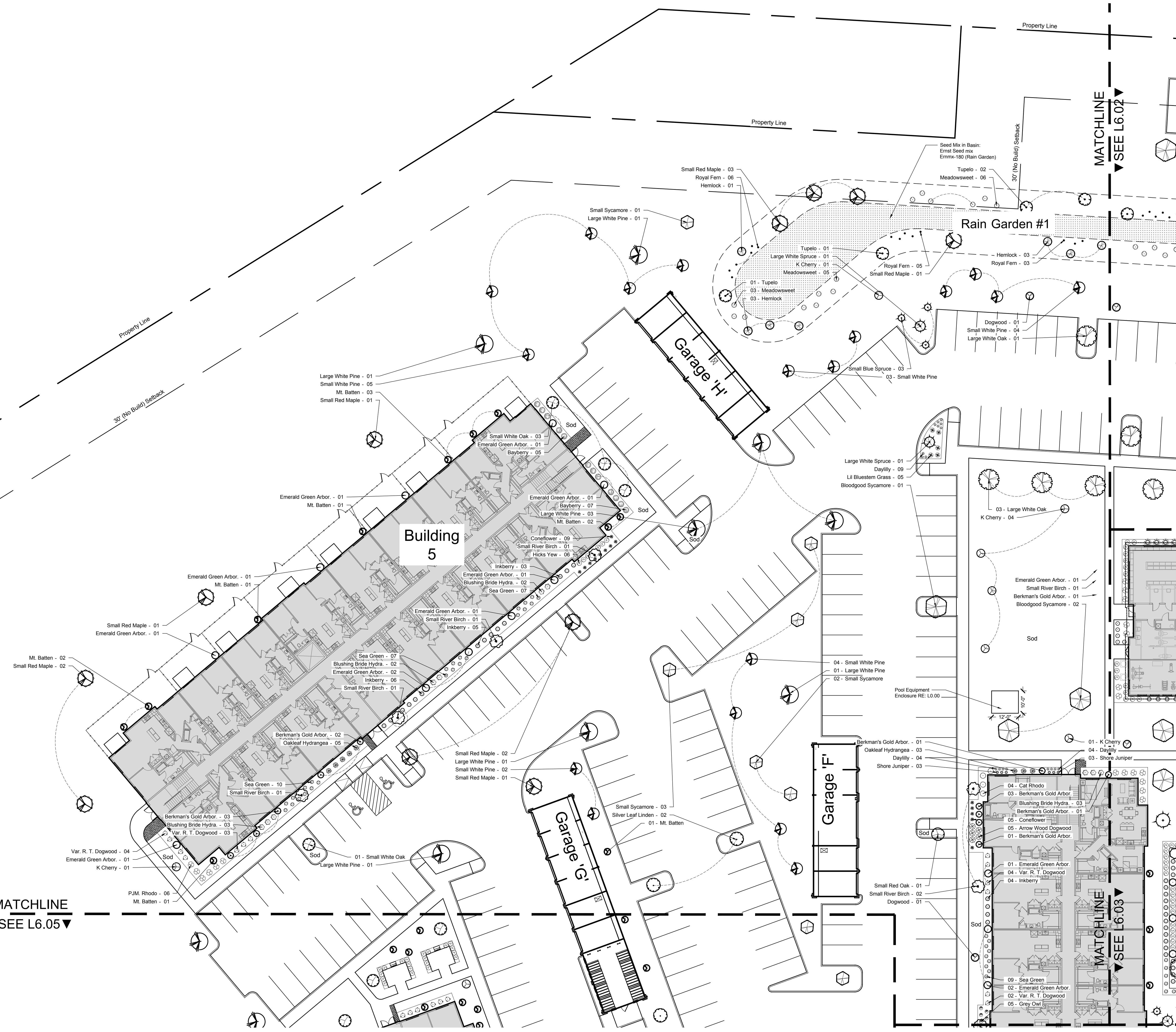
08/02/2024 - SITE PLAN FILING

PLANTING



DRAWN: _____ AD/BM
PROJECT: _____ 643
PLOT DATE: _____ 08-02-2024

SHEET NUMBER: **L6.06**



MATCHLINE
▼ SEE L6.05 ▼

MATCHLINE
▼ SEE L6.03 ▼